



ADDENDUM NO. 1

January 23, 2020

TO: ALL PLANHOLDERS

RE: HIGH SCHOOL #13

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated January 7, 2020. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

Addendum No.1 consists of One Hundred Ten (110) pages, including this cover letter.

21 January 20

Addendum No. 1

High School #13

Howard County Public School System

Bid Number: 016.20.B4

The following is intended to clarify, correct, revise, and restate various parts of the Drawings and Specifications all of which shall form part of this Contract.

Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bid to be considered as non-responsive.

CHANGES TO SPECIFICATIONS:

TABLE OF CONTENTS

REVISE	Specification number
	From: 00 2000 NOTICE TO BIDDERS
	To: 00 1000 NOTICE TO BIDDERS
REVISE	Specification number
	From: 00 1000 INSTRUCTION TO BIDDERS
	To: 00 2000 INSTRUCTION TO BIDDERS
DELETE	01 0801 EXTERIOR ENCLOSURE PERFORMANCE REQUIREMENTS
REVISE	Name of specification section 11 6143
	From: 11 6143 STAGE CURTAINS
	To: 11 6143 CYCLORAMA CURTAINS
DELETE	23 6420 CHILLER SOUND ATTENUATION SYSTEM
ADD	32 1813 SYNTHETIC TURF

00 1000 NOTICE TO BIDDERS

REPLACE Entire section with the attached revised 00 1000 Notice to Bidders. See attached pages 1-2.

01 0900 REFERENCES

DELETE Duplicate pages 1-6.

01 3300 SUBMITTAL PROCEDURES

REVISE Section 1.02 Summary, paragraph A

From: The submittal process will be a combination of hard copies submitted by the Contractors to a centralized web-accessed server. Contractors will be required to submit electronic copies of the shop drawings, product data, color or pattern selection, samples, etc. Reviewed copies of the submittal, complete with sample and color selections will be posted to a centralized web-accessed server, maintained by the Construction Manager. Each Contractor will be responsible for their access to the server, their producing hard or electronic copies as required, and their distribution to suppliers, fabricators or subcontractors.

To: The Contractors shall upload all submittals via the Construction Manager's web-based software service. Contractors will be required to submit electronic copies of the shop drawings, product data, color or pattern selection, samples, etc. Reviewed copies of the submittal, complete with sample and color selections will be posted to the Construction Manager's web-based software service. Each Contractor will be responsible for their access to the software, producing hard or electronic copies as required, and their distribution to suppliers, fabricators or subcontractors.

REVISE First sentence in section 1.09 Processing of submittals, paragraph A

From: Within sixty [60] calendar days, unless expedited delivery is specifically identified in the Contract Packages, after receiving the Owner's signed Contract, Award of Contractor, or "Letter of Intent", forward all submittals to the Construction Manager.

To: Within ninety [90] calendar days, unless expedited delivery is specifically identified in the Contract Packages, after receiving the Owner's signed Contract, Award of Contractor, or "Letter of Intent", forward all submittals to the Construction Manager.

01 7000 CONTRACT CLOSEOUT

REVISE School name and address on page 5 CONTRACTOR'S VERIFICATION OF NO ASBESTOS FORM

From: New Elementary School #42
7030 Banbury Lane
Hanover, Maryland 21076

To: New High School #13
8500 Ridgelys Run Road
Jessup, Maryland 20794

01 8000 - LIST OF DRAWINGS

ADD P-503 - RISER DIAGRAMS

ADD P-504 - RISER DIAGRAMS

ADD P-505 - RISER DIAGRAMS

ADD P-506 - RISER DIAGRAMS

01 91 13 GENERAL COMMISSIONING REQUIREMENTS

ADD In section 1.1 Summary, paragraph 'B' Related Sections the following:

4. Division 7 Section "COMMISSIONING OF BUILDING ENVELOPE SYSTEMS"

03 3000 - CAST-IN-PLACE CONCRETE

DELETE 2.11.A.5 in its entirety.

DELETE 3.2. CONVEYING AND PLACING, paragraph E in its entirety.

06 2000 FINISH CARPENTRY

DELETE Second line item in 1.02 Scope which reads as follows:

Medium density overlay plywood soffits

DELETE 2.03 Finish Plywood, paragraph 'C' which reads as follows:

MDOL (Medium density overlay) plywood where indicated shall be standard grade (B-B) having resin-treated facing having a smooth and uniform surface intended for high quality paint finish. Furnish panels with overlay one side only. Equivalent thickness Medex exterior grade medium density fiberboard may be used at Contractor's option.

07 4216 INSULATED CORE METAL WALL PANELS

DELETE Second sentence in section 1.04 Quality Assurance, paragraph A which reads as follows:

This includes providing all engineering and shop drawings.

08 6000 SKYLIGHTS

REVISE 2.01 High performance skylights to change the model number to as follows:

From: Model M74DS O

To: Model 750DS-C

09 6623 EPOXY TERRAZZO FLOORING

REVISE Title of paragraph 2.03
 From: Crack Suppression Membrane
 To: Crack Suppressant Membrane

11 6143 STAGE CURTAINS

REVISE Title of specification
 From: STAGE CURTAINS
 To: CYCLORAMA CURTAINS

REVISE 1.01 Description
 From: Furnish all labor, materials, equipment, and services required for the complete installation of a cyclorama curtain, track, and required hardware in TV Studio B239G and a two-piece main act stage curtain, teasers, legs, track, and required hardware as indicated in Stage E505.
 To: Furnish all labor, materials, equipment, and services required for the complete installation of a cyclorama curtain, track, and required hardware in TV Studio B239G.

ADD Section 1.05 Related work specified under other sections

Stage curtains are described in specification section 11 6100 / THEATER AND STAGE EQUIPMENT.

DELETE Section 2.01 Stage E505 Main Act, Teaser and Rear Traveler Curtain Track in its entirety.

ADD 2.01 NOT USED.

DELETE 3.02 Installation, paragraph A In its entirety.

ADD 3.02.A NOT USED.

22 0800 PLUMBING COMMISSIONING REQUIREMENTS

REVISE Specification number at heading on 6 pages to match table of contents
 From: 23 0800
 To: 22 0800

23 0506 – CURBS AND FLASHINGS FOR HVAC PIPING AND EQUIPMENT

REVISE Paragraph 3.2.A.
 From: Inside the perimeter of the curb, cover roof deck with gypsum board fit in tightly, joints and voids filled in with embedding compound, and edges sealed.
 To: Inside the perimeter of the curb, cover roof deck with layers of gypsum board fit in tightly, joints and voids filled in with embedding compound, and edges sealed.

REVISE

Paragraph 3.2.B.

From: Over gypsum board, install two layers of acoustical lining. Install one layer of gypsum board between the two layers of acoustical lining, and one over the top layer of acoustical lining. Fill joints and voids and seal edges of each layer of gypsum board.

To: Over gypsum board, install two layers of acoustical lining. Seal all joints and seams.

23 8219 – FAN-COIL UNITS**ADD**

Article 2.3 as follows:

“2.3 VERTICAL CONSULE UNITS

- A. Units meeting the basic requirements specified above and the additional requirements for vertical console configuration.
- B. Equal to International Environment Corporation model.
 - 1. Sloped-top cabinet: FSY.
- C. Combination drain pan and fan deck assembly fabricated of 18 gauge (1.3-mm-thick) galvanized steel and insulated with fire-retardant, closed-cell foam coating. Floor-mounted units shall be provided with an auxiliary drain pan of molded plastic with NPS 0.75 (DN 20) MPT drain connection. Lowboy units shall be provided with a steel, mastic-coated, auxiliary drain pan with NPS 0.75 (DN 20) MPT drain. Auxiliary drain pans shall meet the same slope requirements specified for primary drain pan.
- D. Front panel: Removable.
- E. Grilles:
 - 1. Continuous metal bar discharge grille.
 - 2. Continuous metal inlet grille, screwed to unit casing.
 - 3. Inlet opening in the toe space for return air.
- F. Provide leveling legs on floor-mounted units.
- G. Provide access panels to controls in top of floor exposed units and in the front decorative panel for recessed units. Provide locks on access covers.
- H. Filters: Include filter rack with one-inch (25-mm) deep disposable flat panel type filters. Larger units require a center filter support so the filter does not sag. Provide filters as specified in Section 23 4100.

26 0533 CONDUITS**REVISE**

Paragraph 3.1-P

From: Install conduits in slab on grade where indicated on the drawings and where connecting to floor boxes. Conduits installed in slab on grade shall be above the vapor barrier. Maximum conduit size shall be 1.25 inch. Slab shall be depressed as required to maintain a minimum of 2-inch of concrete above the conduit. Conduit shall be secured in position to prevent damage or movement during the concrete pour.

To: Do not install conduits in slab on grade when connecting to floor boxes. Install conduits below slab to turn up below floor boxes. Conduit shall be secured in position to prevent damage or movement during the concrete pour.

CHANGES TO DRAWINGS:S-113 - FOUNDATION AND FIRST FLOOR PLAN - AREA 'C'

- REVISE** Invert elevation note near intersection of column line K.3-5 to read as follows:
 From: "INV. EL. = 285.00' 6" DIA. SAN"
 To: "INV. EL. = 288.50' 6" DIA. SAN.X PROVIDE PIPE SLEEVE PER NOTE 12A ON SHEET S-111" as shown on attached part plan ADD_I_S6.

S-115 - FOUNDATION AND FIRST FLOOR PLAN - AREA 'E'

- ADD** Slab control joint to plan, section cut 6/S-201 and corridor terrazzo depression "NOTE 15 ON S-111" near column S-14.9 and M.4-15.1 as shown on attached part plan ADD_I_S1 and ADD_I_S2.

S-116 - FOUNDATION AND FIRST FLOOR PLAN - AREA 'F'

- REVISE** Footing elevations at shower drains and under slab pipe as shown on attached part plan ADD_I_S7.

S-117 - FOUNDATION AND FIRST FLOOR PLAN AREAS - 'G' AND 'H'

- ADD** Add slab control joint to plan, section cut 6/S-201 and corridor terrazzo depression "NOTE 15 ON S-111" near column G-15.1 as shown on attached part plan ADD_I_S3.
- ADD** Add foundation for cantilevered wall and section cut 2/S-202 east of column B-16 as shown on attached part plan ADD_I_S4.

S-125 - MEZZANINE AND LOW ROOF FRAMING PLAN - AREA 'E'

- ADD** Add roof top unit DSS 200 lbs, to plan just north of W14x22 beam on column line Q as shown on attached part plan ADD_I_S5.

S-146 - ROOF FRAMING PLAN - AREA 'F'

- REVISE** Plan notes
 From: NOTE 2A ON S-124
 To: NOTE 3A ON S-124
- REVISE** Plan notes
 From: NOTE 2B ON S-124
 To: NOTE 3B ON S-124

M-112 - FIRST FLOOR PLAN - AREA 'B'

- DELETE** Cabinet unit heater CUH-1-8 from Sculpt-Kiln per sketch ADD_I_M1.
- ADD** Fan coil unit FCU-3-32 to Sculpt-Kiln per sketch ADD_I_M1.

M-133 - THIRD FLOOR PLAN - AREA 'C'

REVISE Ductwork and air devices serving fan coil unit FCU-5-24 per sketch ADD_I_M2.

MP-112 - FIRST FLOOR PLAN - AREA 'B'

REVISE Piping serving unit in Sculpt-Kiln per sketch ADD_I_M3.

MP-131 - THIRD FLOOR PLAN - AREA 'A'

REVISE Refrigerant piping per sketch ADD_I_M4.

M-504 - DETAIL AND DIAGRAMS

ADD Diagram I0/M504 per sketch ADD_I_M5.

M-602 - SCHEDULES

ADD Fan coil unit FCU-3-32 and "Notes" to schedule per sketch ADD_I_M6.

REVISE Requirements for fan coil unit FCU-5-24 per sketch ADD_I_M6.

M-604 - SCHEDULES

REVISE Air-Cooled Condensing Unit Schedule per sketch ADD_I_M7.

M-605 - SCHEDULES

DELETE Cabinet unit heater CUH-I-8 from schedule.

P-112 - FIRST FLOOR PLAN - AREA 'B'

ADD Condensate piping for fan coil unit and revise pipe size per sketch ADD_I_P1.

REVISE Pipe size per sketch ADD_I_P2.

REVISE Sanitary piping per sketch ADD_I_P3.

P-113 - FIRST FLOOR PLAN - AREA 'C'

REVISE Irrigation piping per sketch ADD_I_P4.

ADD Hot water recirc piping per sketch ADD_I_P5.

ADD Piping to can wash per sketch ADD_I_P6.

ADD Notes per sketch ADD_I_P7.

P-114 - FIRST FLOOR PLAN - AREA 'D'

REVISE Pipe sizes per sketch ADD_I_P25.

P-115 - FIRST FLOOR PLAN - AREA 'E'

ADD Cold water pipe for wall hydrant per sketch ADD_I_P8.

ADD Cold water pipe for wall hydrant per sketch ADD_I_P9.

P-117 - FIRST FLOOR PLAN - AREAS 'G' & 'H'

REVISE Pipe size per sketch ADD_I_P10

REVISE Pipe size per sketch ADD_I_P11

P-123 - SECOND FLOOR PLAN - AREA 'C'

ADD Notes per sketch ADD_I_P12.

REMOVE Vent piping per sketch ADD_I_P12.

P-124 - SECOND FLOOR PLAN - AREA 'D' & 'E'

ADD Wall hydrant per sketch ADD_I_P13.

ADD Wall hydrant per sketch ADD_I_P14.

P-131 - THIRD FLOOR PLAN - AREA 'A'

REVISE Pipe size per sketch ADD_I_P24.

P-201 - PART PLANS

REVISE Pipe size per sketch ADD_I_P15.

ADD Vent pipe per sketch ADD_I_P16.

REVISE Pipe size per sketch ADD_I_P17.

P-202 - PART PLANS

ADD Pipe sizes per sketch ADD_I_P18.

ADD Vent pipe per sketch ADD_I_P19.

P-204 - PART PLAN - KITCHEN

REVISE Pipe locations per sketch ADD_I_P20.

ADD Kitchen equipment 28h per sketch ADD_I_P21.

REMOVE Piping per sketch ADD_I_P22.

ADD Kitchen equipment 28h to schedule per sketch ADD_I_P23.

P-503 – RISER DIAGRAMS

ADD Entire sheet to the set of Construction Documents. See attachments.

P504 – RISER DIAGRAMS

ADD Entire sheet to the set of Construction Documents. See attachments.

P505 – RISER DIAGRAMS

ADD Entire sheet to the set of Construction Documents. See attachments.

P506 – RISER DIAGRAMS

ADD Entire sheet to the set of Construction Documents. See attachments.

EL-111 - FIRST FLOOR PLAN AREA 'A' LIGHTING

ADD Fixture designation type A to light fixture in corridor A108 outside API A 108A. Refer to sketch ADD_I_E6.

EL-112 – FIRST FLOOR PLAN AREA 'B' LIGHTING

REVISE Fixture designation to downlight at Elev B Lobby to type C. Refer to sketch ADD_I_E7.

EL-115 – FIRST FLOOR PLAN AREA 'E' LIGHTING

ADD Fixture designation type A to light fixture in Corridor E 060. Refer to sketch ADD_I_E8.

ADD Fixture designation type K to light fixture in Auditorium. Refer to sketch ADD_I_E8.

EL-117 – FIRST FLOOR PLAN AREA 'G' & 'H' LIGHTING

REVISE Fixture designation to type D in CC G 814.

EL-122 – SECOND FLOOR PLAN AREA 'B' LIGHTING

REVISE Fixture designation to type A in STOR B 246A.

EL-150 – STADIUM & STORAGE BUILDINGS

ADD Fixture designation type J1 to light fixtures in MENS JS04 and WOMENS JS03. Refer to sketch ADD_I_E9.

EP-112 – FIRST FLOOR PLAN AREA 'B' POWER

REVISE Cabinet Unit Heater CUH-1-8 in Sculpt/Kiln B128B to FCU-3-32 and connect to FCU-3-5. Refer to sketch ADD_I_E2.

ADD Duplex receptacle in FCU-3-32. Refer to sketch ADD_I_E2.

DELETE Circuit R1B6-63 from CUH-1-8 and make breaker SPARE.

EP-203 – PART FLOOR PLANS POWER

REVISE Equipment layout in Electric B 345 detail 9/EP-203. Refer to sketch ADD_I_E3.

E-502 – DETAILS

REVISE Detail 6/E-502 Placard at Quick-Connect Generator Switchboard. Refer to sketch ADD_I_E4.

ADD Detail 12/E-502 Placard Generator Docking Station. Refer to sketch ADD_I_E5.

E-609 – SCHEDULES

REVISE Breakers and wire size for circuits SL-2,5,14 and 17 in panel SL. Refer to sketch ADD_I_E1

END OF ADDENDUM NO. 1

Attachments dated 21 JAN 20:

SPECIFICATION 00 1000 NOTICE TO BIDDERS (2 PAGES-8.5" X 11")
ADD_I_S1 thru S7 (8.5" X 11")
ADD_I_M1 thru M7 (8.5" X 11")
ADD_I_P1 thru P25 (8.5" X 11")
P-503 - RISER DIAGRAMS (30" X 42")
P-504 - RISER DIAGRAMS (30" X 42")
P-505 - RISER DIAGRAMS (30" X 42")
P-506 - RISER DIAGRAMS (30" X 42")
ADD_I_E1 thru E9 (8.5" X 11")

SECTION 001000
NOTICE TO BIDDERS - INVITATION TO BID No. 016.20.B4

#13 HIGH SCHOOL NEW CONSTRUCTION

THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM
 10910 CLARKSVILLE PIKE
 ELLICOTT CITY, MD 21042-6198

The Howard County Public School System (HCPSS) requests your bid for the construction of the new #13 High School as specified in the bid documents. Sealed Bids will be received by The Board of Education of Howard County, Maryland at its Department of Education Building, Purchasing Office; 10910 Clarksville Pike; Ellicott City, MD 21042-6198; (410) 313-6600, No later than **February 28, 2020 at 1:00 P.M.** Late bids will not be accepted. It is the bidder's responsibility to ensure that bids are delivered to the Purchasing Office prior to the scheduled opening time.

It is the potential bidder's sole responsibility to regularly visit the HCPSS Purchasing website www.hcpss.org/about-us/purchasing/current-bids/ to download and acknowledge receipt of all Addenda. It is highly recommended that bidders ascertain if they have received all the addenda issued prior to submitting their proposal. Failure of any bidder to acknowledge any such Addenda or interpretation may not relieve such bidder from obligation under his/her proposal as submitted.

The Pre-bid Meeting will be held on January 16, 2020 at 1:30 P.M. at the Reservoir High School Cafeteria; 11550 Scaggsville Road, Fulton MD, 20759. The Architect, Construction Manager, and HCPSS staff will explain the scope of the project and answer questions about the bid documents that will help in preparation of the bids. Attendance is strongly recommended and will assist the Owner in evaluating the bids to determine if the bid can be considered responsive and/or responsible. A site walk through will be available after the conclusion of the pre-bid meeting by HCPSS representatives.

All questions shall be directed, in writing, no later than 2:00 P.M., February 14, 2020 to Mr. Steve Krell, Senior Estimator, Oak Contracting, LLC at skrell@oakcontracting.com. The Howard County Public School System is under no obligation to respond to any questions that are received after the cutoff date and time. Only answers provided via an addendum issued by the HCPSS will be binding. Under no circumstances are bidders, including third party vendors or their staff, to contact any other HCPSS Staff, employees or any related constituency for purposes associated with this solicitation, including but not limited to, obtaining or providing information. **Bidders failing to comply with this requirement may be disqualified.**

Maryland Department of Transportation (MDOT) Certified Minority Business Enterprises are encouraged to respond to this solicitation notice.

The Contractor or supplier who provides materials, supplies, equipment and/or services for this construction project shall attempt to achieve the MBE goal for each contract package as follows:

Contract Package	MBE Goal	MBE Sub Goals	
2A-Site	30%	African-American 7%	Asian-American 0%
3A-Concrete	25%	African-American 7%	Asian-American 4%
4A-Masonry	25%	African-American 7%	Asian-American 0%
5A-Steel	25%	African-American 7%	Asian-American 0%
6A-Carpentry & Specialties	30%	African-American 7%	Asian-American 0%
7A-Roofing	30%	African-American 7%	Asian-American 4%
8A-Aluminum and Glass	20%	African-American 7%	Asian-American 0%
9A-Drywall and Acoustical	25%	African-American 7%	Asian-American 4%
9B-Flooring & Tile	20%	African-American 7%	Asian-American 4%
9C-Wood Flooring	10%	African-American 7%	Asian-American 4%
9E-Painting	20%	African-American 7%	Asian-American 4%
11A-Kitchen Equipment	0%	African-American 0%	Asian-American 0%

11B-Athletic Equipment	0%	African-American 0%	Asian-American 0%
15A-Mechanical	30%	African-American 7%	Asian-American 4%
16A-Electrical	35%	African-American 7%	Asian-American 4%

All Prime Contractors, including certified MBE firms, when submitting their Bids or Proposals as General or Prime Contractors are required to attempt to achieve this goal from certified MBE firms.

In accordance with the Governor's Office of Minority Affairs, a MBE Prime contractor may self-perform up to 50% of the overall MBE contract goal and up to 100% of any one MBE contract subgoal, provided that the certified MBE prime contractor is properly identified on the MBE participation schedule and the firm is NAICS code-certified to do the work.

The bidder or offeror is required to submit with its bid or proposal a completed Attachment A - Certified MBE Utilization and Fair Solicitation Affidavit and Attachment B - MBE Participation Schedule for wage rates as described in these solicitation documents. Each bid or offer submitted, including a submittal from a certified MBE in response to this solicitation, shall be accompanied by a completed Attachment A - Certified MBE Utilization and Fair Solicitation Affidavit and a completed Attachment B - MBE Participation Schedule for wage rates. These two attachments must be accurate and consistent with each other. Attachment A and Attachment B shall be submitted with the sealed bid price at the place, date, and time specified in the solicitation document. The bidder or offeror must check one of the three boxes on Attachment A, which relates to the level of MBE participation achieved for the project.

The contractor or supplier who provides materials, supplies, equipment and/or services for this construction project shall attempt to achieve the specific overall MBE goals listed above that have been established for this project. All prime contractors, including certified MBE firms, when submitting bids or proposals as general or prime contractors are required to attempt to achieve this goal from MDOT certified MBE firms. Bidders are encouraged to review Section 000730 of the bidding documents for the full Minority Business Enterprise Procedures.

The bidder must check one of the three boxes on Attachment A, which relates to the level of MBE participation achieved for the project. The bidder's signature indicates that in the event that they did not meet the MBE goal or sub-goals, if applicable, that: 1) They are therefore requesting a waiver, and 2) Documentation of their good faith efforts will be provided to the school system staff within 10 days of being notified that they are the apparent low bidder.

Bid Documents may be obtained on or after **10:00 a.m.** on January 7, 2020, from Oak Contracting Via email. To register as a bidder and obtain the bid documents please contact Steve Krell at skrell@oakcontracting.com or Michele Wixsom at mwixsom@oakcontracting.com .

The Howard County Public School System shall not be responsible for errors or omissions made by any printer or advertising houses which prepare the bid documents, addenda, or advertising services. If the Bidders or advertising houses suspect that their set of the documents is incomplete or defective, they should immediately contact the Project Manager. The bidding documents can be examined, without charge, at the Howard County Department of Education, Purchasing Office; 10910 Clarksville Pike; Ellicott City, MD 21042. Contractors wishing to view the documents must call the HCPSS Purchasing office at (410) 313-4584 to arrange an appointment date and time at least 24 business hours prior to viewing the documents.

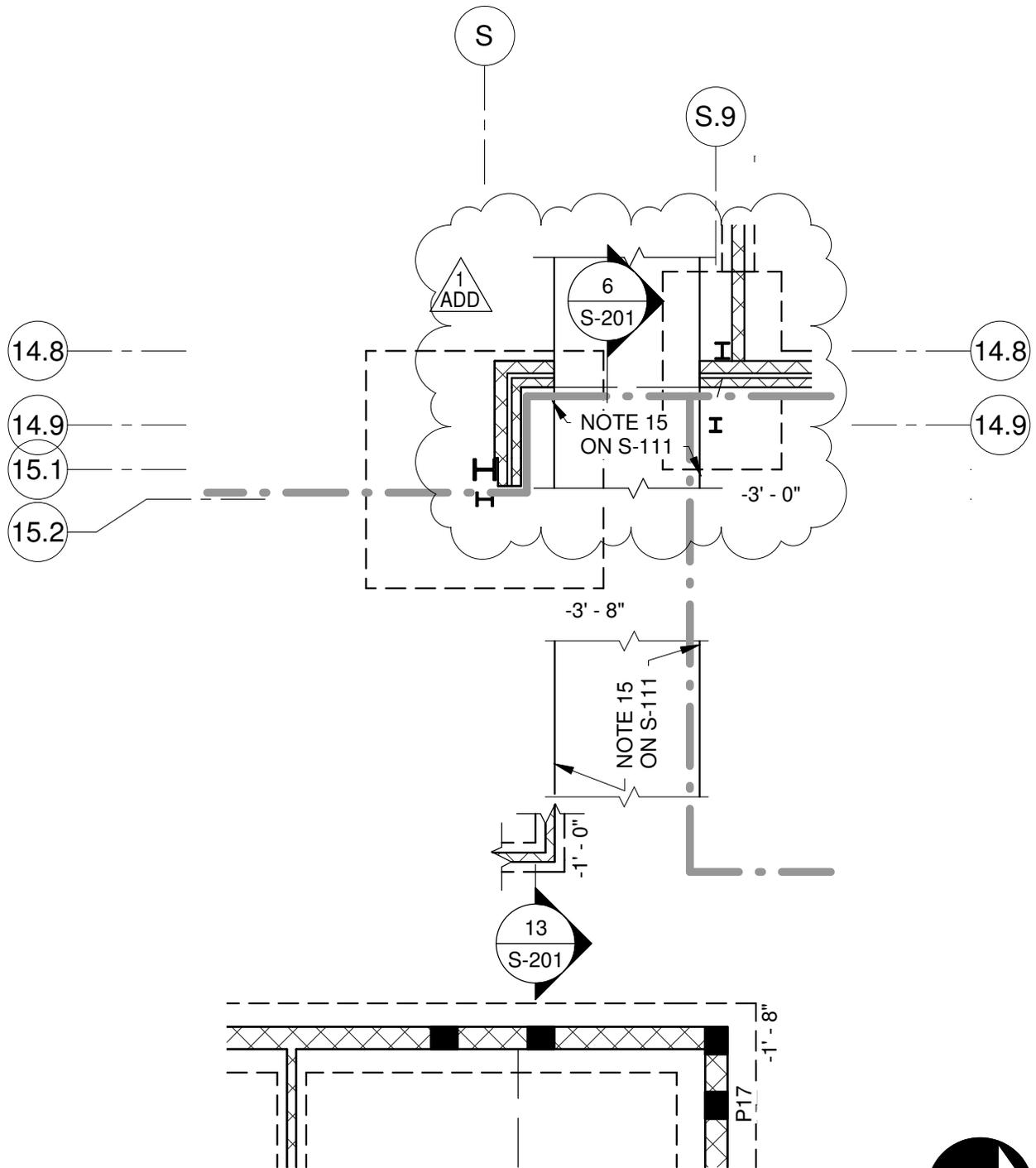
Instructions pertaining to the Bid Bond, Surety Checks, Performance and Materials Payment Bond requirements are contained in the bid documents.

The conditions contained in this Notice to Bidders, Invitation to Bid, are a part of the bid documents.

The Board reserves the right to waive any informality in, or to reject any or all bids.

Robert B. Gill, CPPO, CPPB
Purchasing Specialist

END OF SECTION



1 PART 1ST FLOOR - E
 S-115 1/8" = 1'-0"



REFERENCE
 NORTH

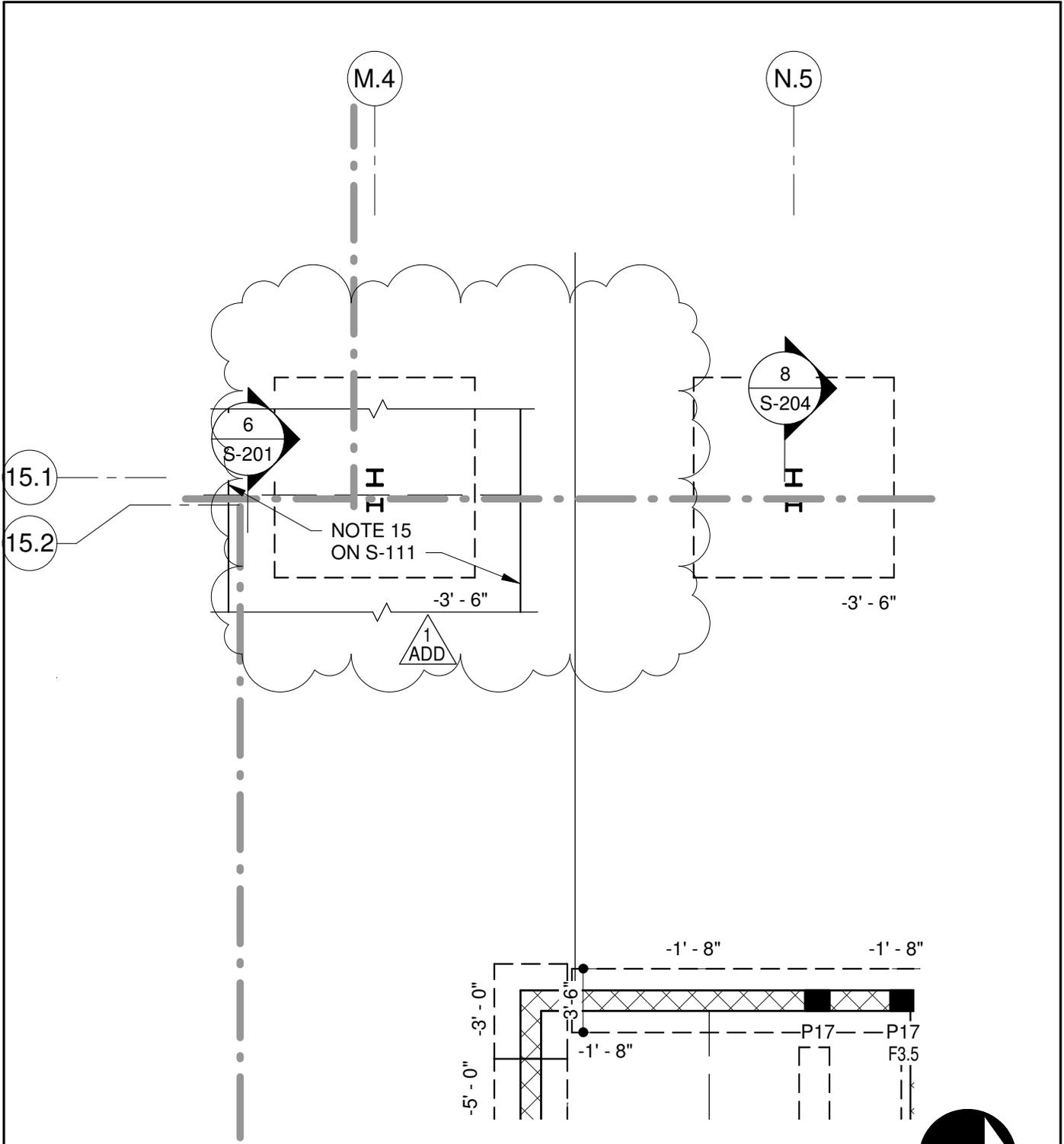
HIGH SCHOOL #13
JESSUP, MARYLAND
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM



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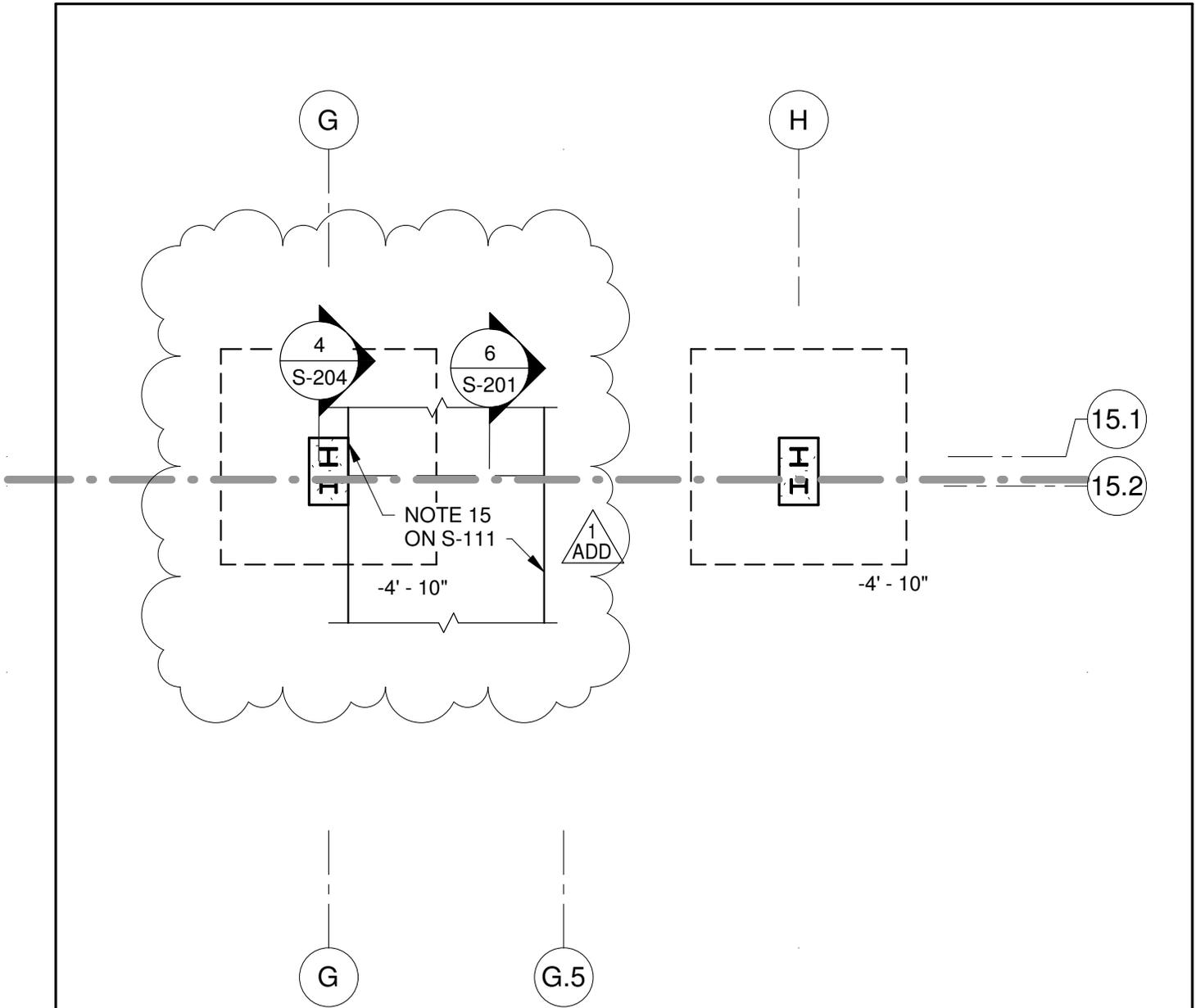
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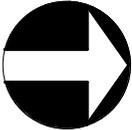
1 PART 1ST FLOOR - E
 S-115 1/8" = 1'-0"



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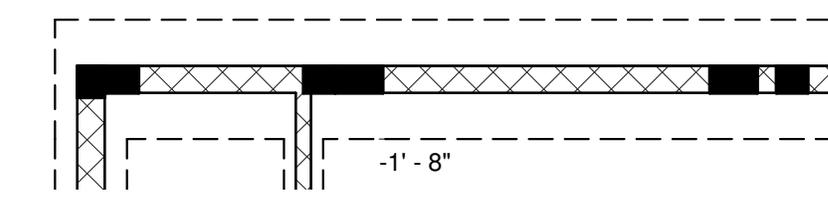
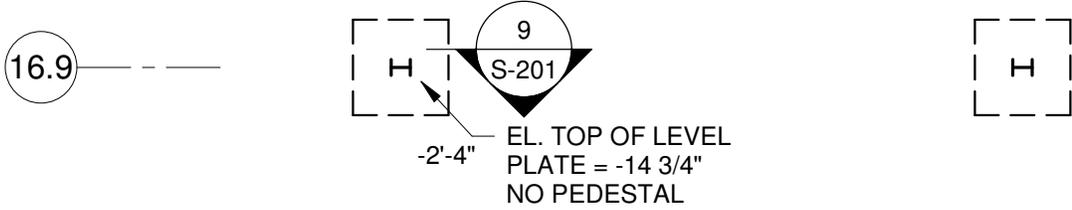
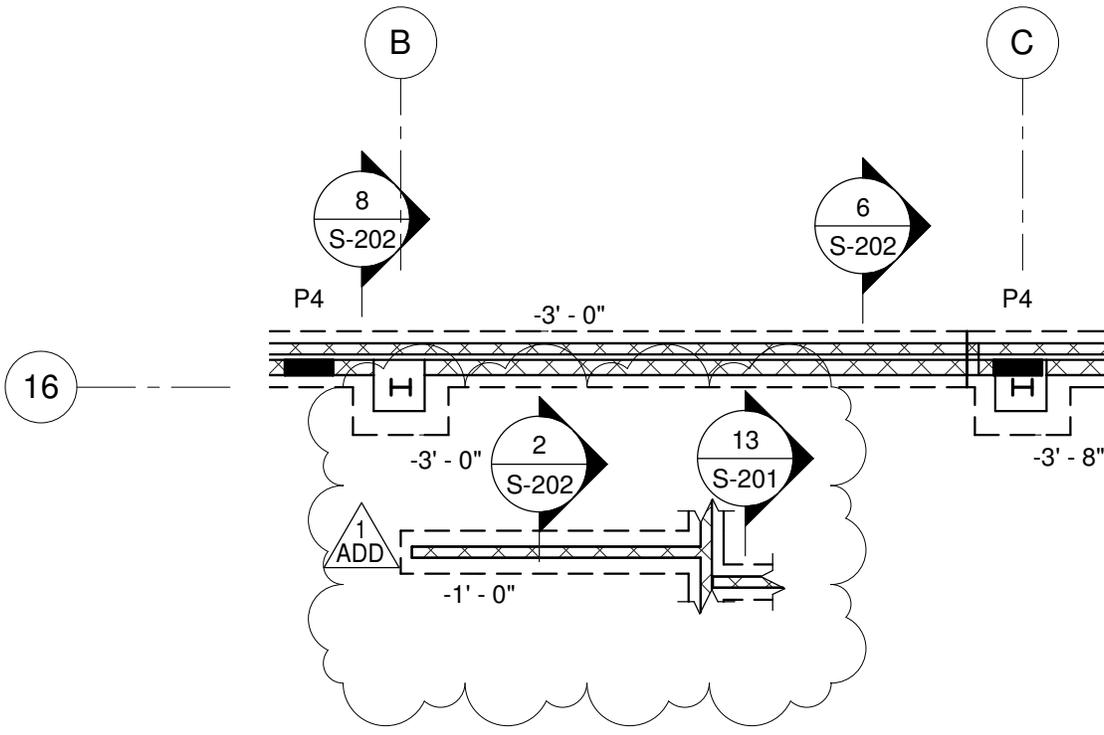


1 PART 1ST FLOOR - G
S-117 1/8" = 1'-0"



REFERENCE
NORTH

<p>HIGH SCHOOL #13 JESSUP, MARYLAND HOWARD COUNTY PUBLIC SCHOOL SYSTEM</p>	 <small>Structural Engineers Parking Consultants © Copyright Morabito Consultants, Inc.</small>	<p>date Checker</p> <hr/> <p>dwg ADD_1_S3</p>
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1 PART 1ST FLOOR - H ALTERNATE
S-117 1/8" = 1'-0"



REFERENCE NORTH

HIGH SCHOOL #13

JESSUP, MARYLAND

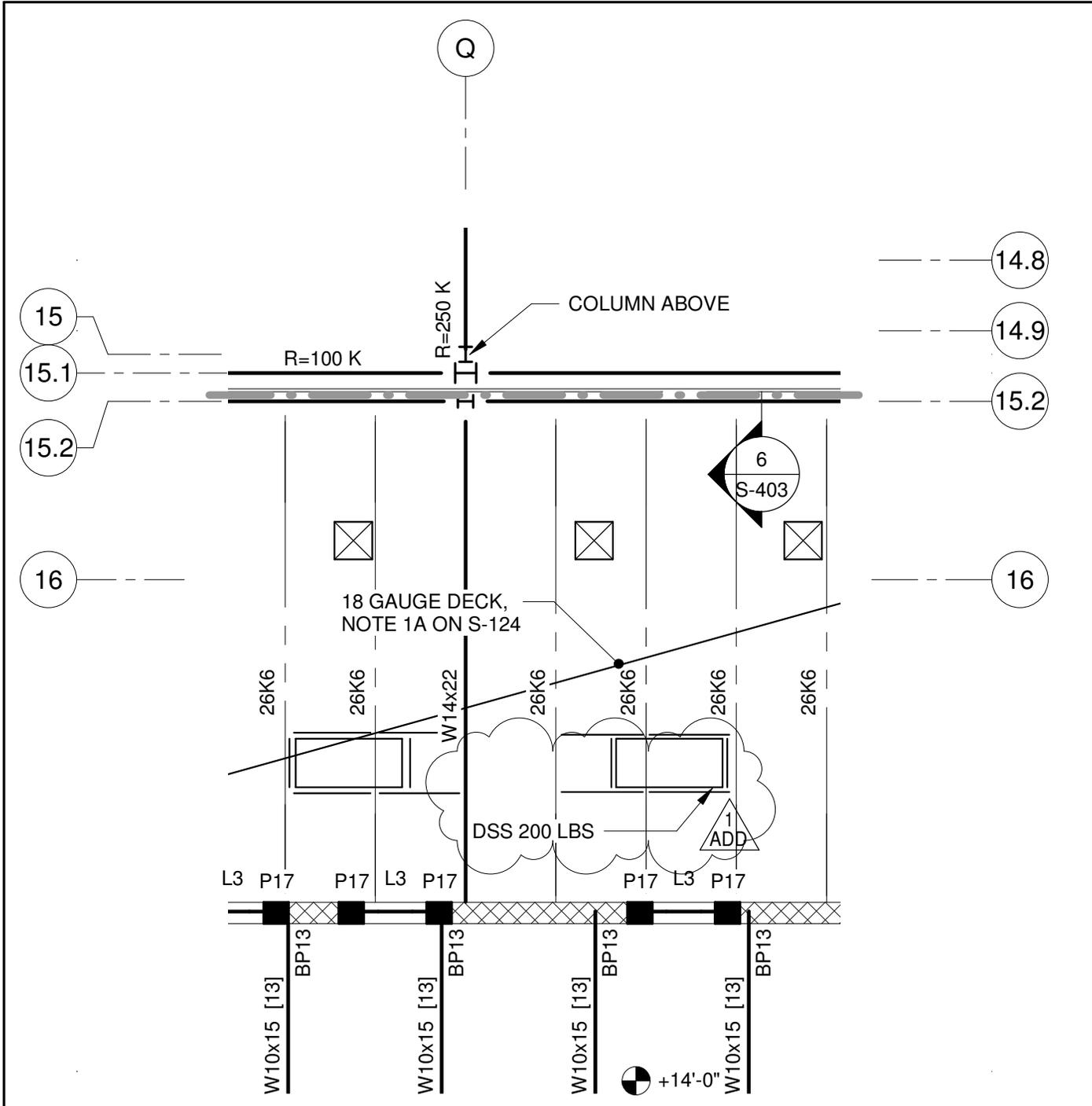
HOWARD COUNTY PUBLIC SCHOOL SYSTEM



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date
21 JAN 20

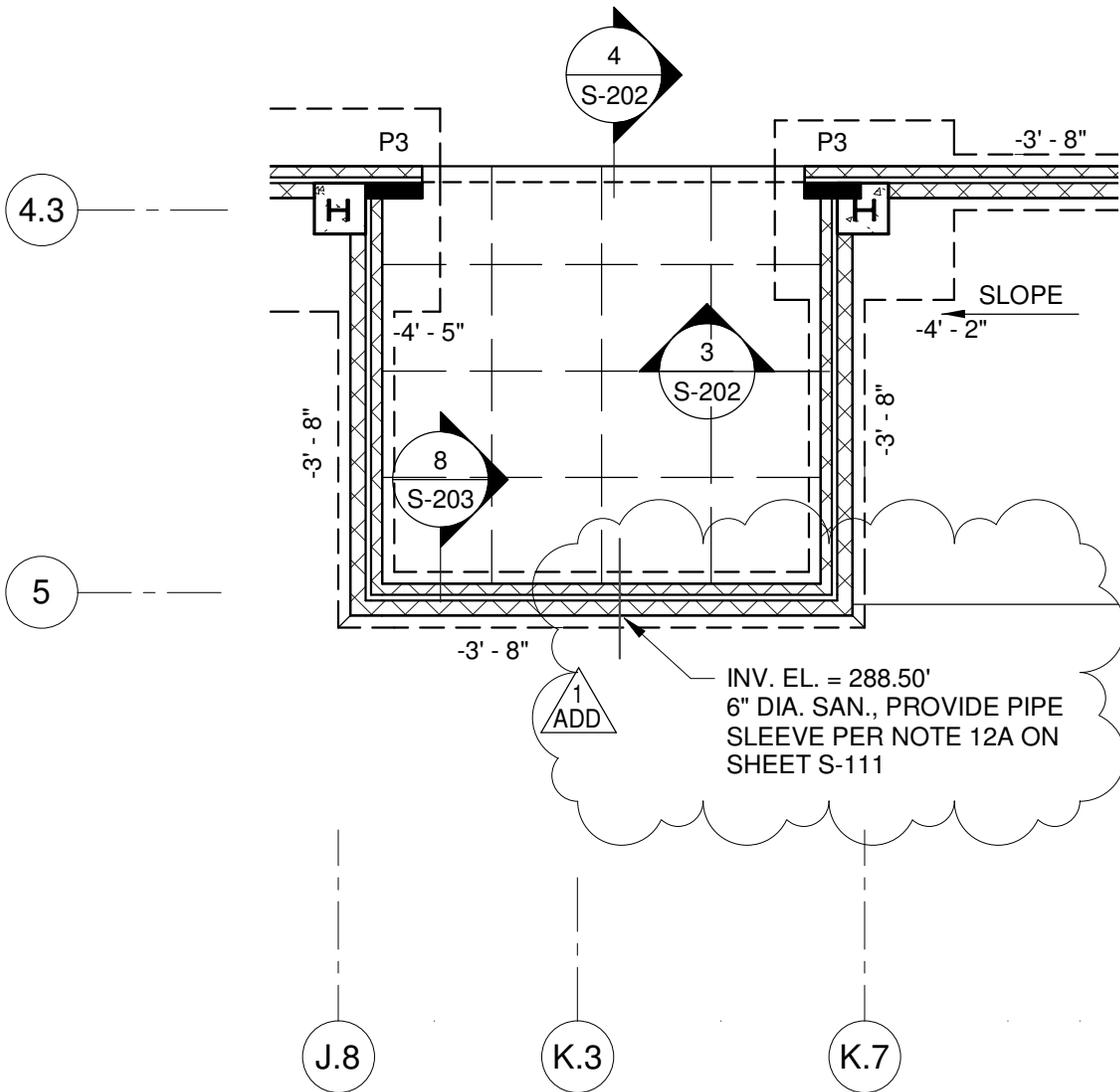
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ADD_1_S4



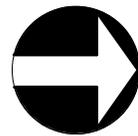
1 PART 2ND FLOOR FRAMING - E
 S-125 1/8" = 1'-0"



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1 PART 1ST FLOOR - C
S-113 1/8" = 1'-0"



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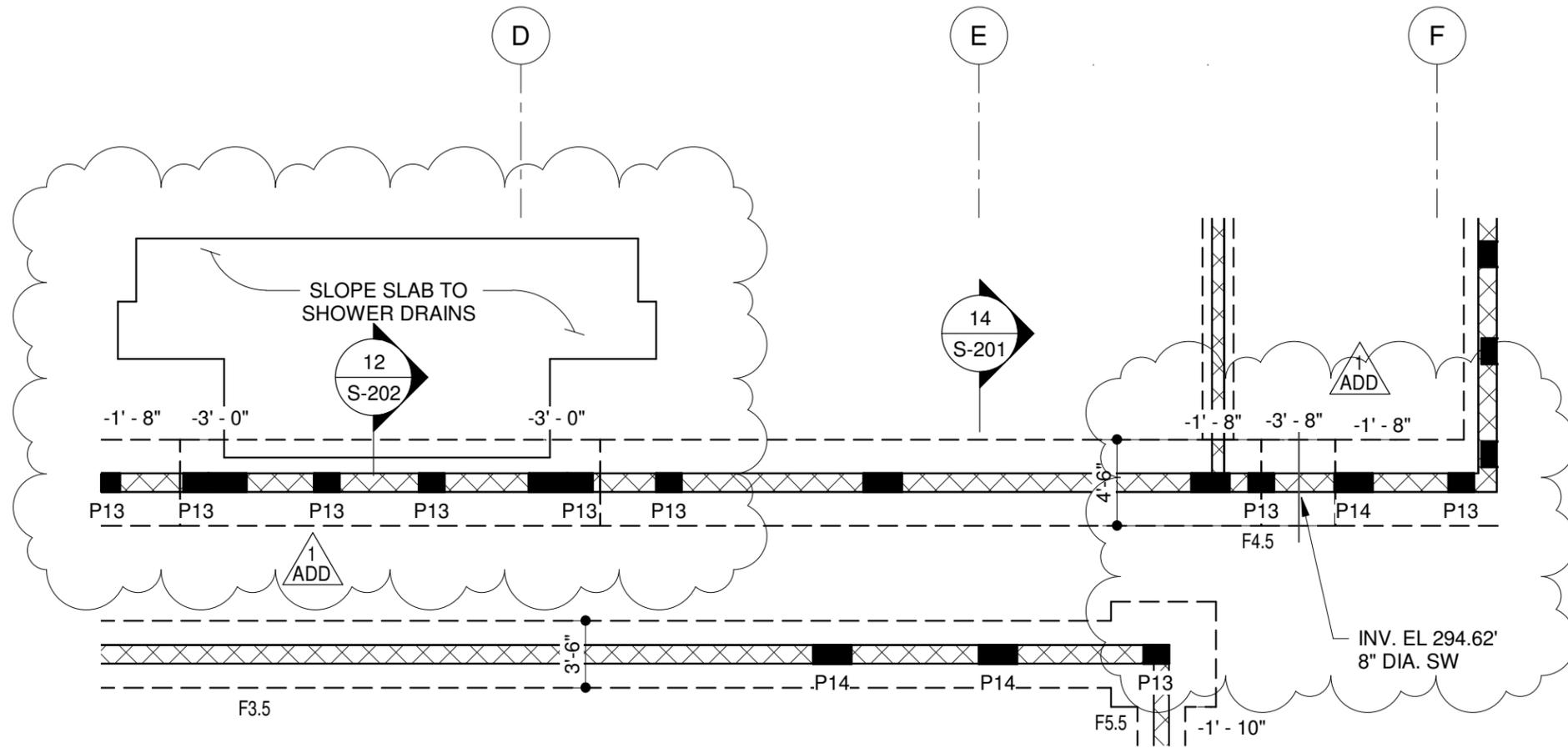
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1 PART 1ST FLOOR - F
S-116 1/8" = 1'-0"



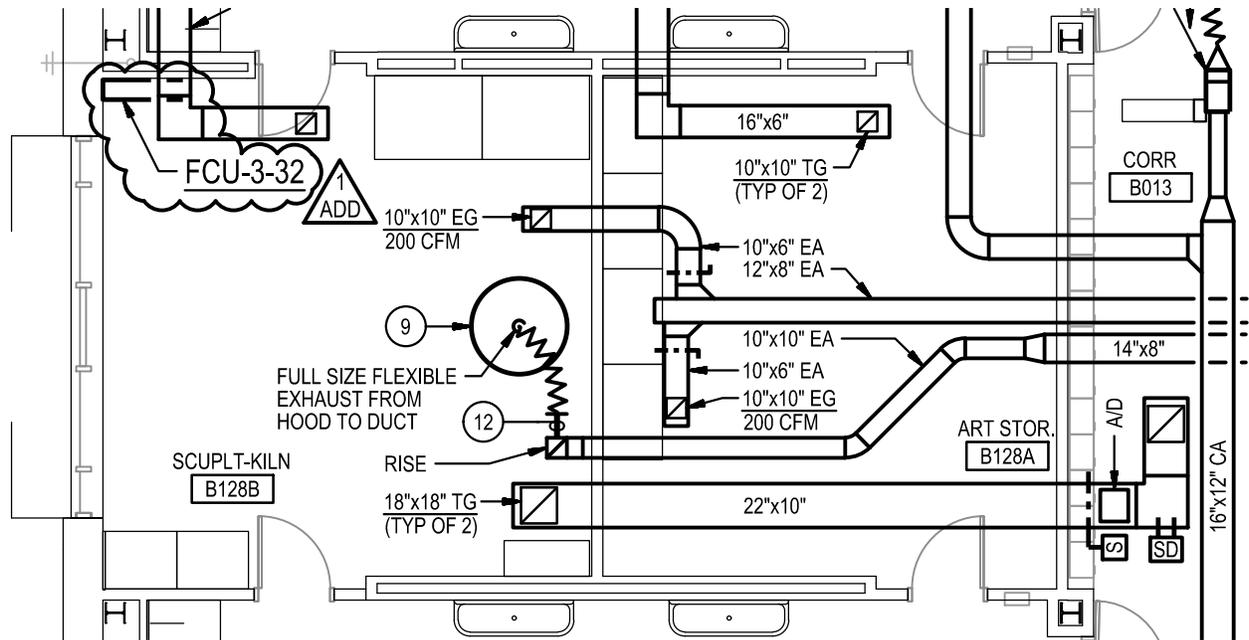
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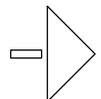
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FIRST FLOOR PLAN - AREA 'B'

SCALE: 1/8"=1'-0"



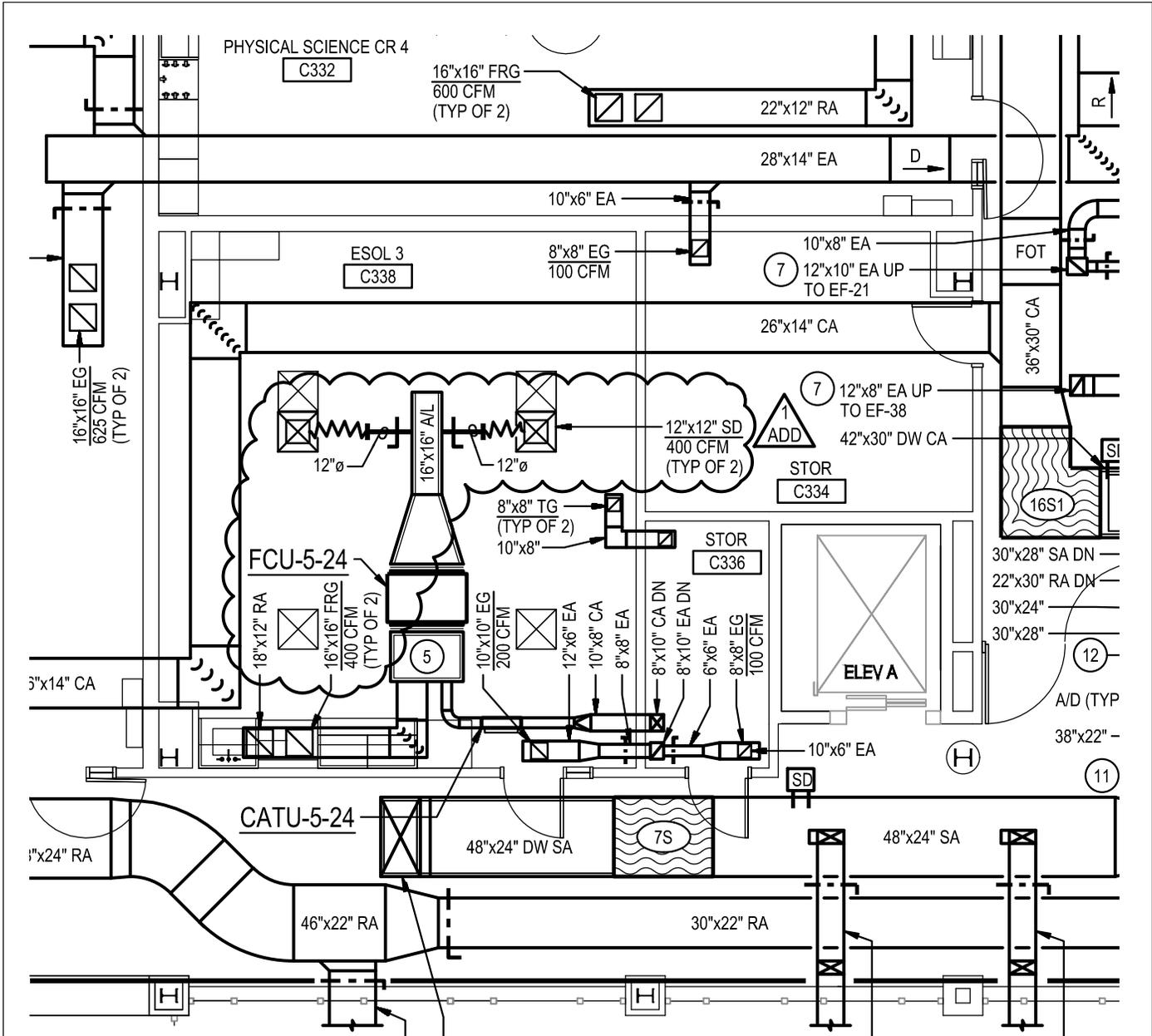
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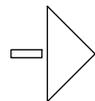
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THIRD FLOOR PLAN - AREA 'C'

SCALE: 1/8"=1'-0"



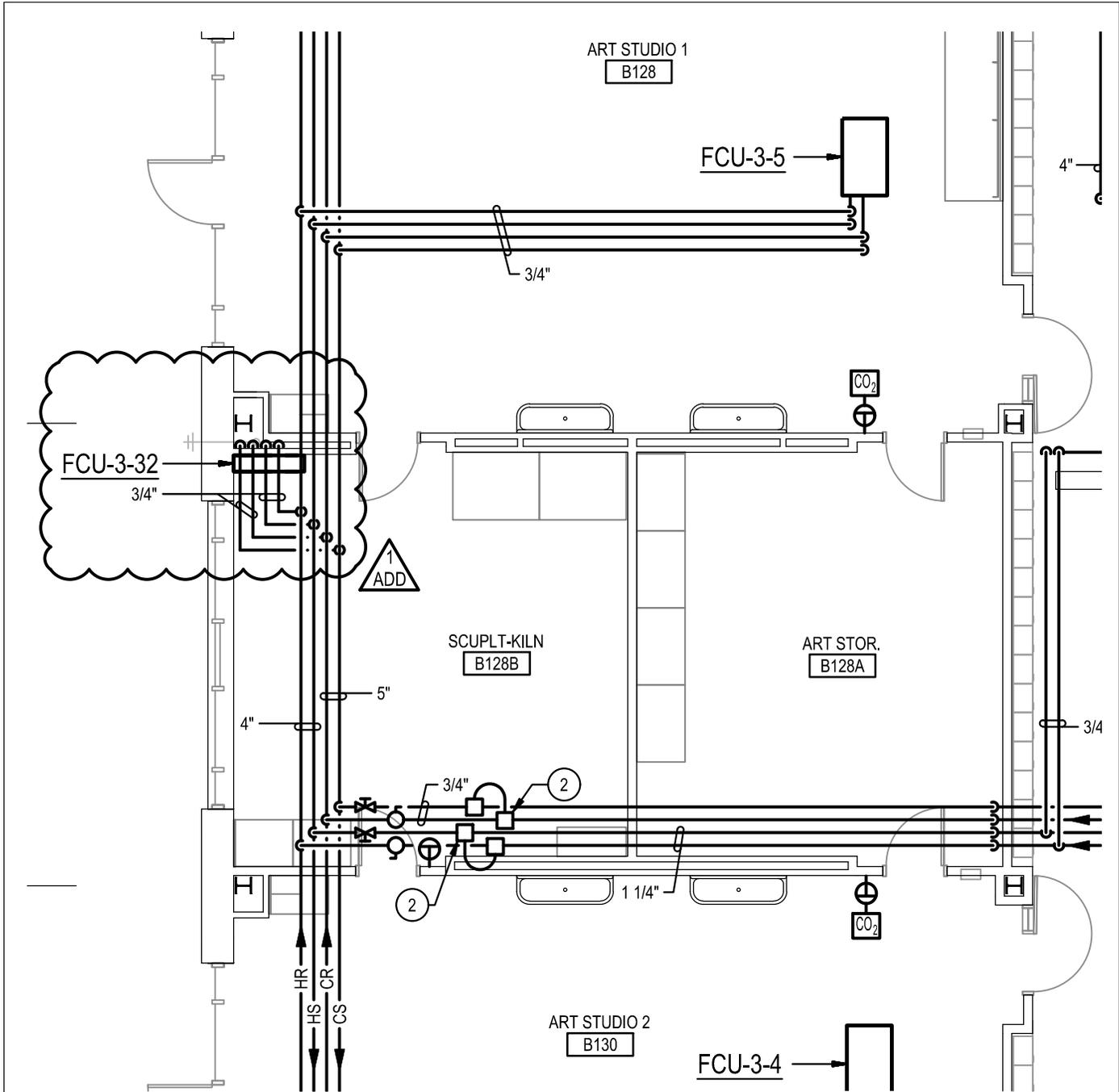
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FIRST FLOOR PLAN - AREA 'B'

SCALE: 1/8"=1'-0"



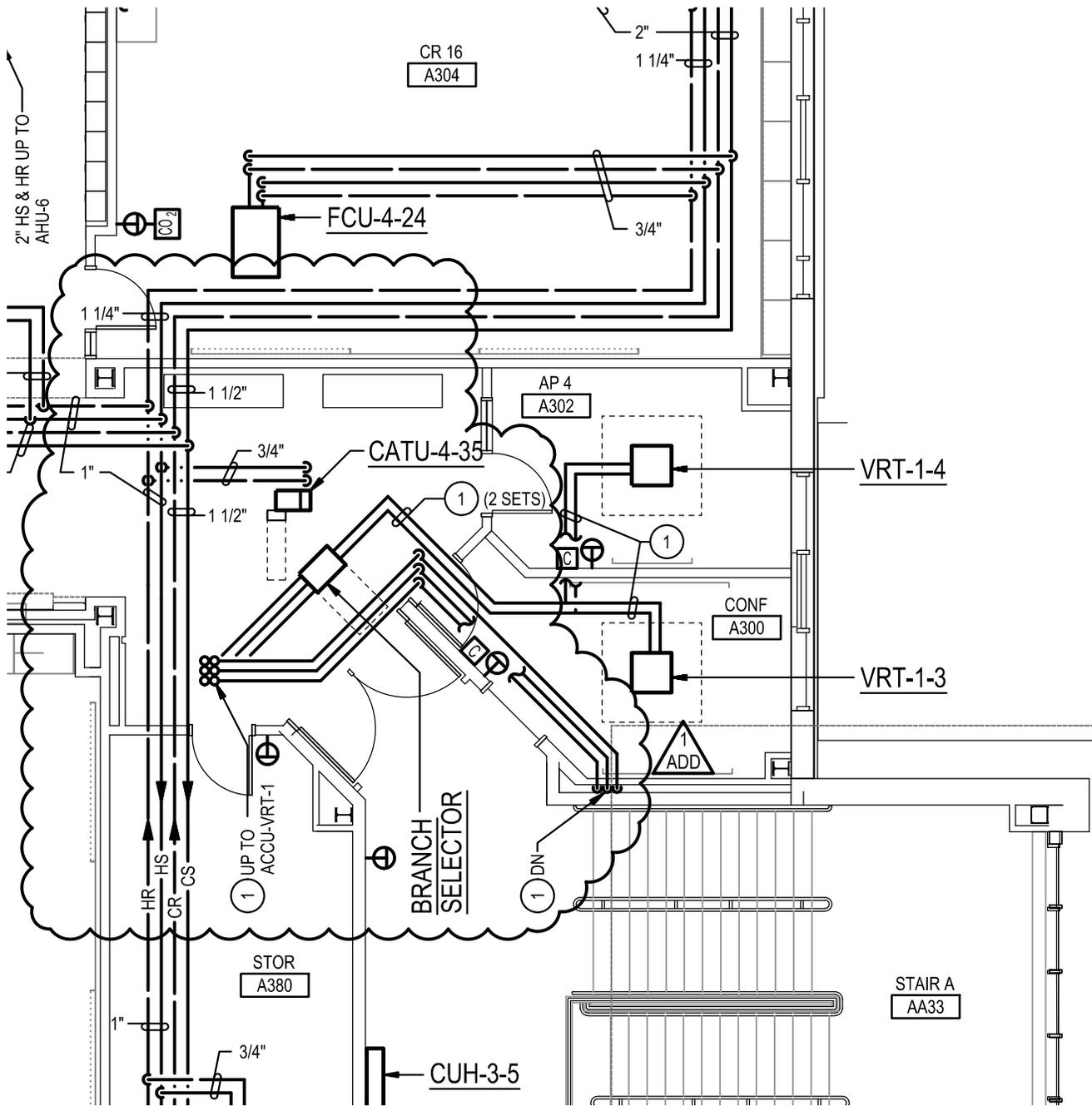
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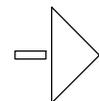
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THIRD FLOOR PLAN - AREA 'A'

SCALE: 1/8"=1'-0"



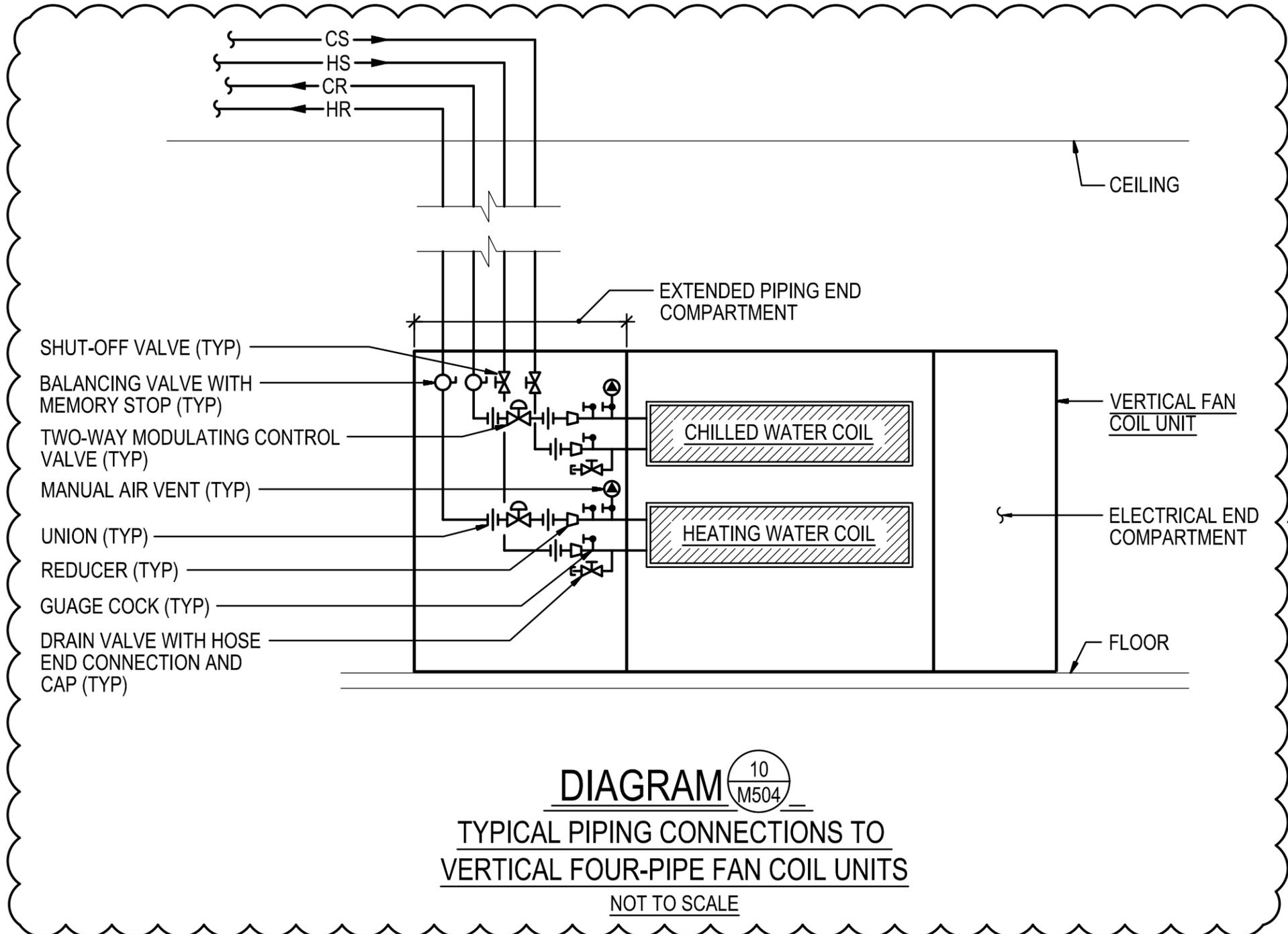
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FOUR-PIPE FAN COIL UNIT SCHEDULE

DESIG	AREA SERVED	UNIT TYPE	CA CFM	UNIT CFM	ESP (IN WC)	COOLING COIL							HEATING COIL					UNIT DIMENSIONS (NOTE 1)			ELECTRICAL			INTERNATIONAL ENVIRONMENTAL MODEL NO	NOTE	
						MIN SENS MBH	MIN TOTAL MBH	GPM	MAX PD (FT)	EAT (°F) (DB / WB)	EWT / SST (°F)	APPROX LWT (°F)	MIN MBH	GPM	MAX PD (FT)	EAT (°F)	MIN LAT (°F)	EWT (°F)	WIDTH (IN)	DEPTH (IN)	HEIGHT (IN)	MCA	FLA			VOLTAGE/ PHASE
FCU-3-32	SCULPT/KILN - B128B	VERT CONSOLE	0	240	0.00	4.7	5.1	1.0	5	76 / 63	44	54	3.9	0.5	5	70.0	85	140	44	10	28	1.7	1.4	277V/1PH	FCVS102	1,2,3,7,8,9

NOTES:

- DIMENSIONS INDICATED ARE BASIS OF DESIGN DIMENSIONS. IF PRODUCTS OF ANOTHER MANUFACTURER WITH DIMENSIONS LARGER THAN THE BASIS OF DESIGN ARE USED, VERIFY AND PROVIDE CONFIRMATION OF PHYSICAL FIT WITH PRODUCT DATA SUBMITTAL.
- PROVIDE UNIT WITH EC MOTOR.
- PROVIDE UNIT WITH FACTORY MOUNTED DISCONNECT SWITCH.
- UNIT SHALL BE BALANCED TO AIRFLOW INDICATED ON FLOOR PLANS.
- FOR INSTALLATION AND PIPING CONNECTION REQUIREMENTS SEE DETAIL 11/M503 AND DIAGRAM 1/M503, RESPECTIVELY.
- FOR INSTALLATION AND PIPING CONNECTION REQUIREMENTS SEE DETAIL 11/M503 AND DIAGRAM 3/M504, RESPECTIVELY.
- PROVIDE UNIT WITH 8-INCH EXTENDED END POCKET AT COIL CONNECTION END.
- FOR PIPING CONNECTION REQUIREMENTS SEE DIAGRAM 10/M504.
- PROVIDE WITH CONDENSATE PUMP EQUAL TO LITTLE GIANT VCMX-20UL.



FOUR-PIPE FAN COIL UNIT SCHEDULE

DESIG	AREA SERVED	UNIT TYPE	CA CFM	UNIT CFM	ESP (IN WC)	COOLING COIL							HEATING COIL					UNIT DIMENSIONS (NOTE 1)			ELECTRICAL			INTERNATIONAL ENVIRONMENTAL MODEL NO	NOTE	
						MIN SENS MBH	MIN TOTAL MBH	GPM	MAX PD (FT)	EAT (°F) (DB / WB)	EWT / SST (°F)	APPROX LWT (°F)	MIN MBH	GPM	MAX PD (FT)	EAT (°F)	MIN LAT (°F)	EWT (°F)	WIDTH (IN)	DEPTH (IN)	HEIGHT (IN)	MCA	FLA			VOLTAGE/ PHASE
FCU-5-24	ESOL 3 - C338	HORIZ CONCEALED	300	800	0.50	15.8	22.6	3.0	5	76 / 63	44	59	17.8	1.0	5	64.4	85	140	42	29	17	5.6	5.0	277V/1PH	HPY-14	1,2,3,4,5



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AIR-COOLED CONDENSING UNIT SCHEDULE

DESIG	EQUIPMENT SERVED	REFRIG TYPE	TOTAL COOLING CAPACITY (MBH)	TOTAL HEATING CAPACITY (MBH)	OA AMBIENT (°F)	COMPRESSOR UNLOADING (%)	SST (°F)	MCA	MOP	VOLTAGE	DAIKIN MODEL NUMBER	NOTES
ACCU-1	AHU-6	R410A	635.2	-	95	25	44	112	125	480V-3PH	RCS062D	1,2,3,4,5
ACCU-2	FCU-3-3	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-3	FCU-3-6	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-4	FCU-3-9	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-5	FCU-3-17	R410A	21.2	-	95	100	45	18	30	208V-1PH	DX 024	1,2,3,4
ACCU-6	FCU-3-19	R410A	13.9	-	95	100	45	12	20	208V-1PH	DX 018	1,2,3,4
ACCU-7	FCU-4-1	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-8	FCU-4-3	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-9	FCU-4-13	R410A	21.2	-	95	100	45	18	30	208V-1PH	DX 024	1,2,3,4
ACCU-10	FCU-4-28	R410A	21.2	-	95	100	45	18	30	208V-1PH	DX 024	1,2,3,4
ACCU-11	FCU-5-1	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-12	FCU-5-4	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-13	FCU-5-11	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-14	FCU-5-14	R410A	32.3	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-15	FCU-2-11	R410A	16.4	-	95	100	45	12	20	208V-1PH	DX 018	1,2,3,4
ACCU-16	FCU-2-12	R410A	33.9	-	95	100	45	19	30	208V-1PH	DX 036	1,2,3,4
ACCU-17	FCU-3-13	R410A	5.1	-	95	100	45	12	20	208V-1PH	DX 018	1,2,3,4
ACCU-18	FCU-5-8	R410A	22.0	-	95	100	45	18	30	208V-1PH	DX 024	1,2,3,4
ACCU-19	FCU-5-10	R410A	21.9	-	95	100	45	18	30	208V-1PH	DX 024	1,2,3,4

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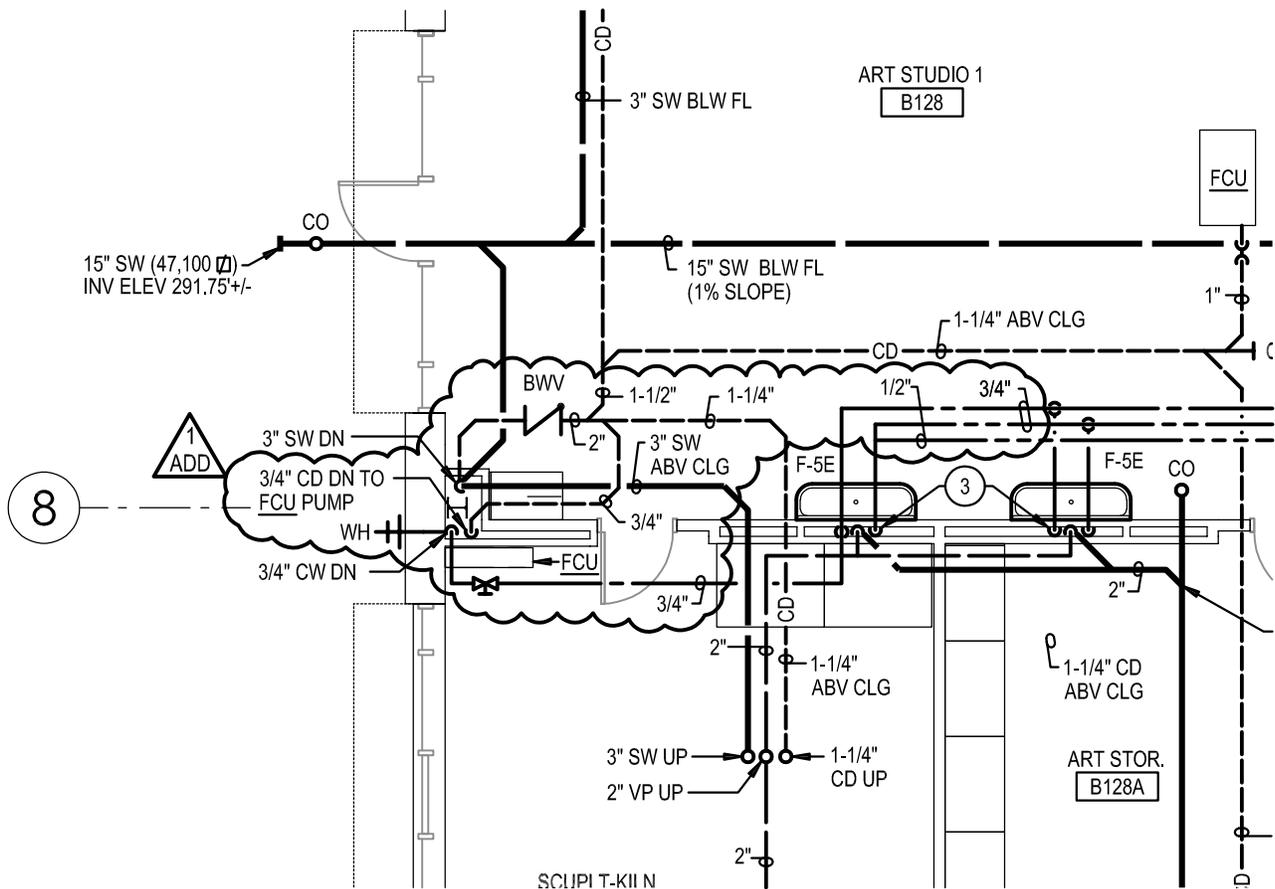
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FIRST FLOOR PLAN - AREA 'B'

SCALE: 1/8"=1'-0"



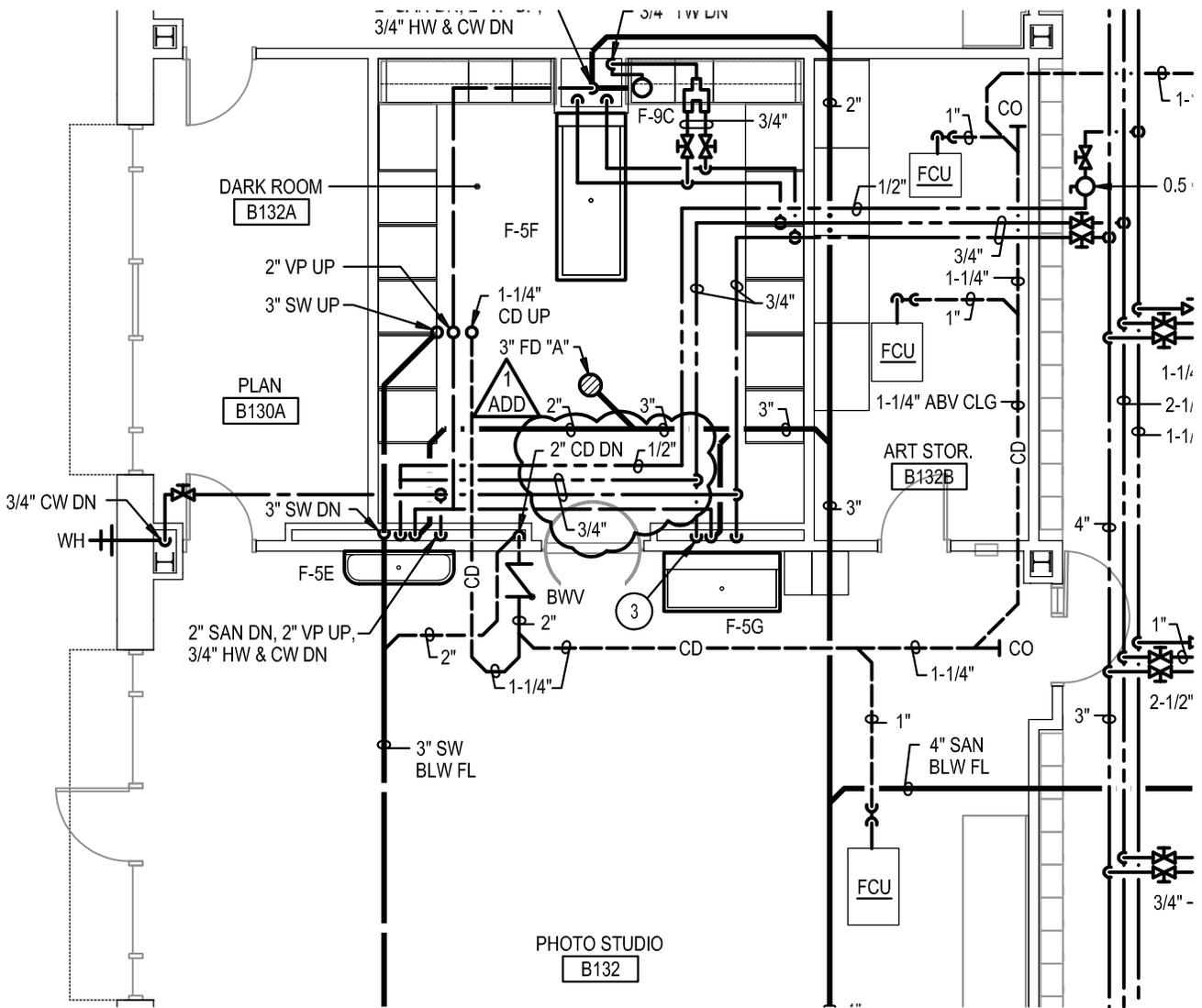
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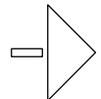
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FIRST FLOOR PLAN - AREA 'B'

SCALE: 1/8"=1'-0"



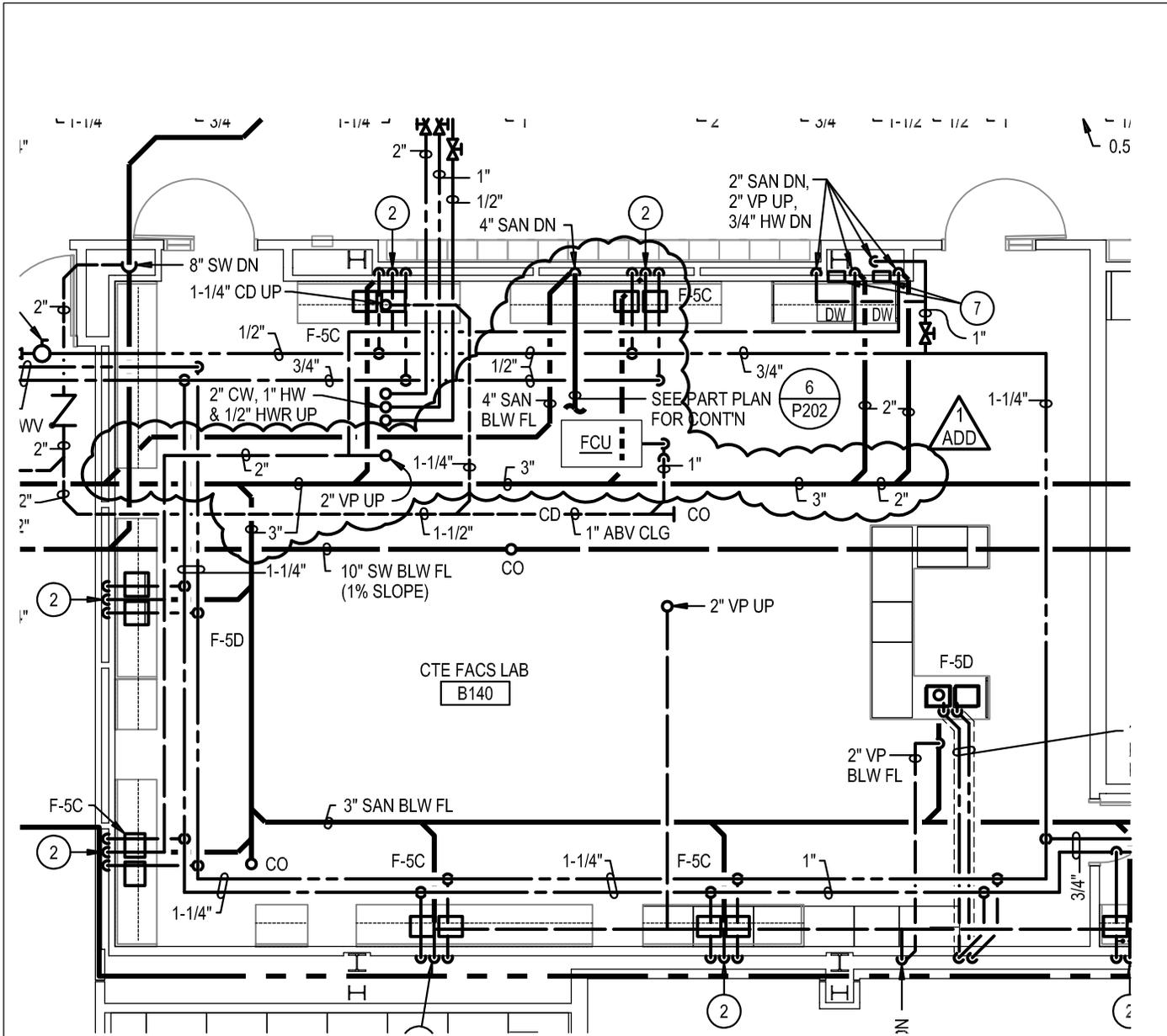
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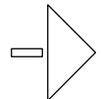
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FIRST FLOOR PLAN - AREA 'B'

SCALE: 1/8"=1'-0"



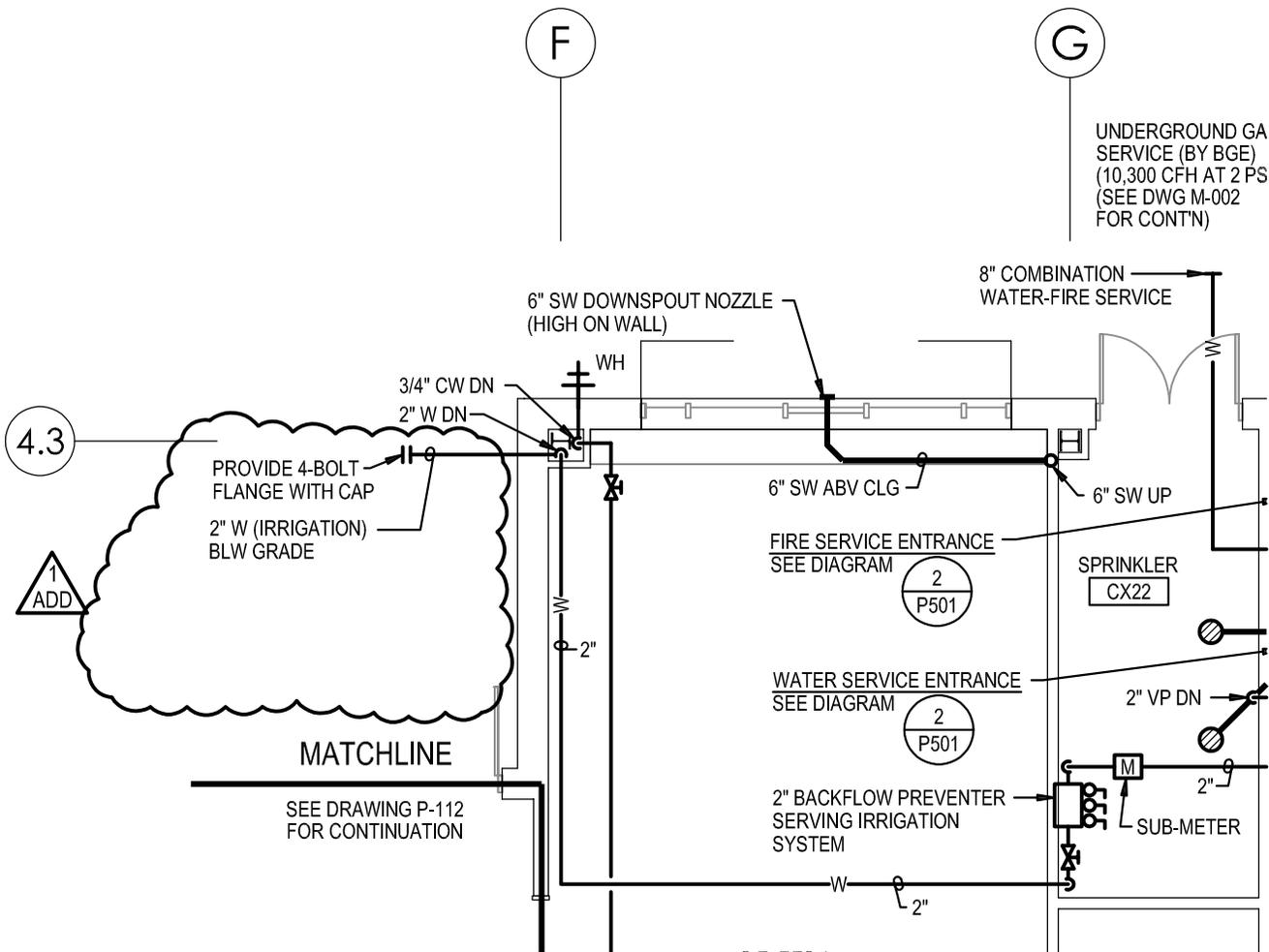
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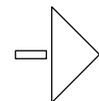
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FIRST FLOOR PLAN - AREA 'C'

SCALE: 1/8"=1'-0"



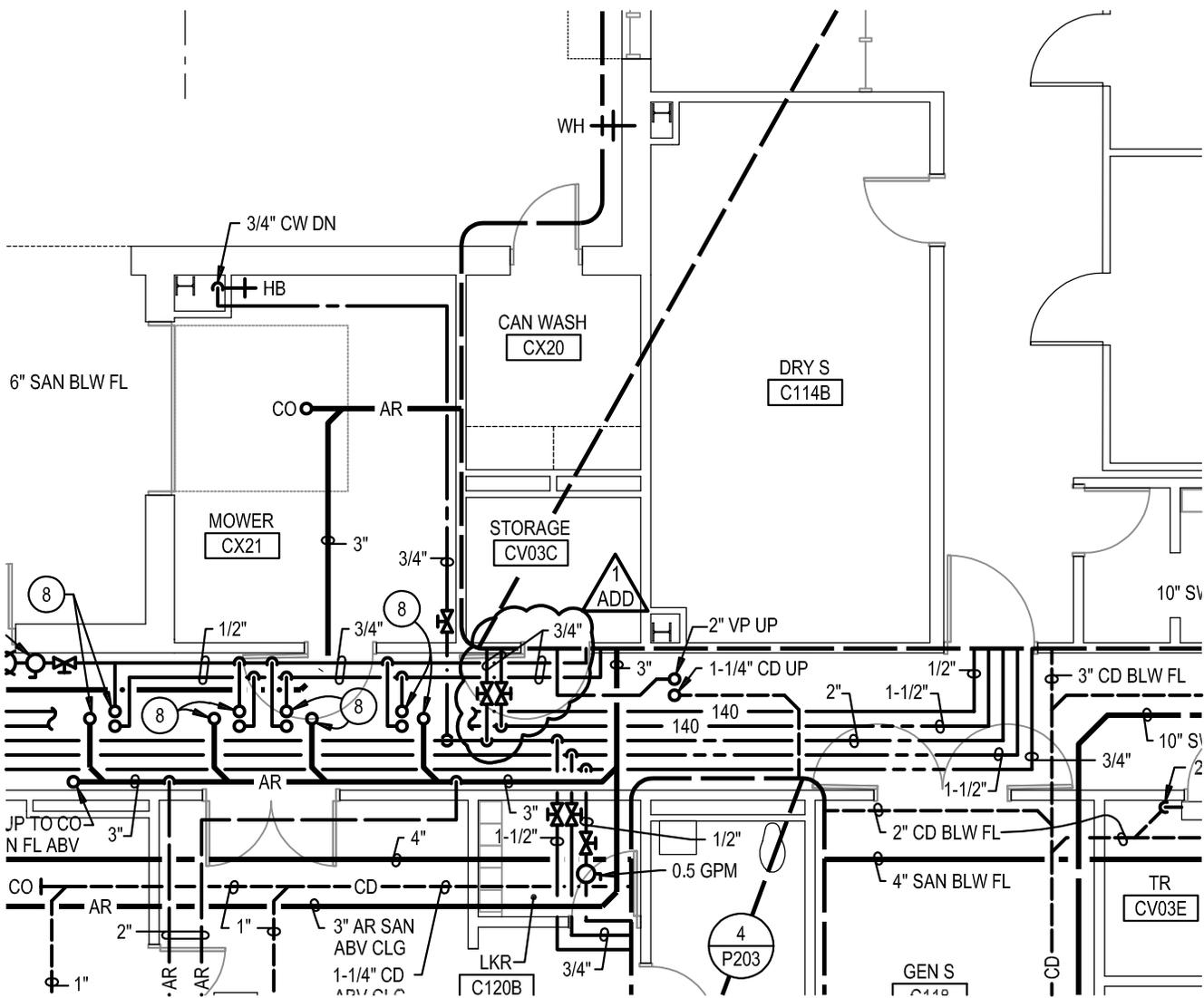
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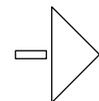
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FIRST FLOOR PLAN - AREA 'C'

SCALE: 1/8"=1'-0"



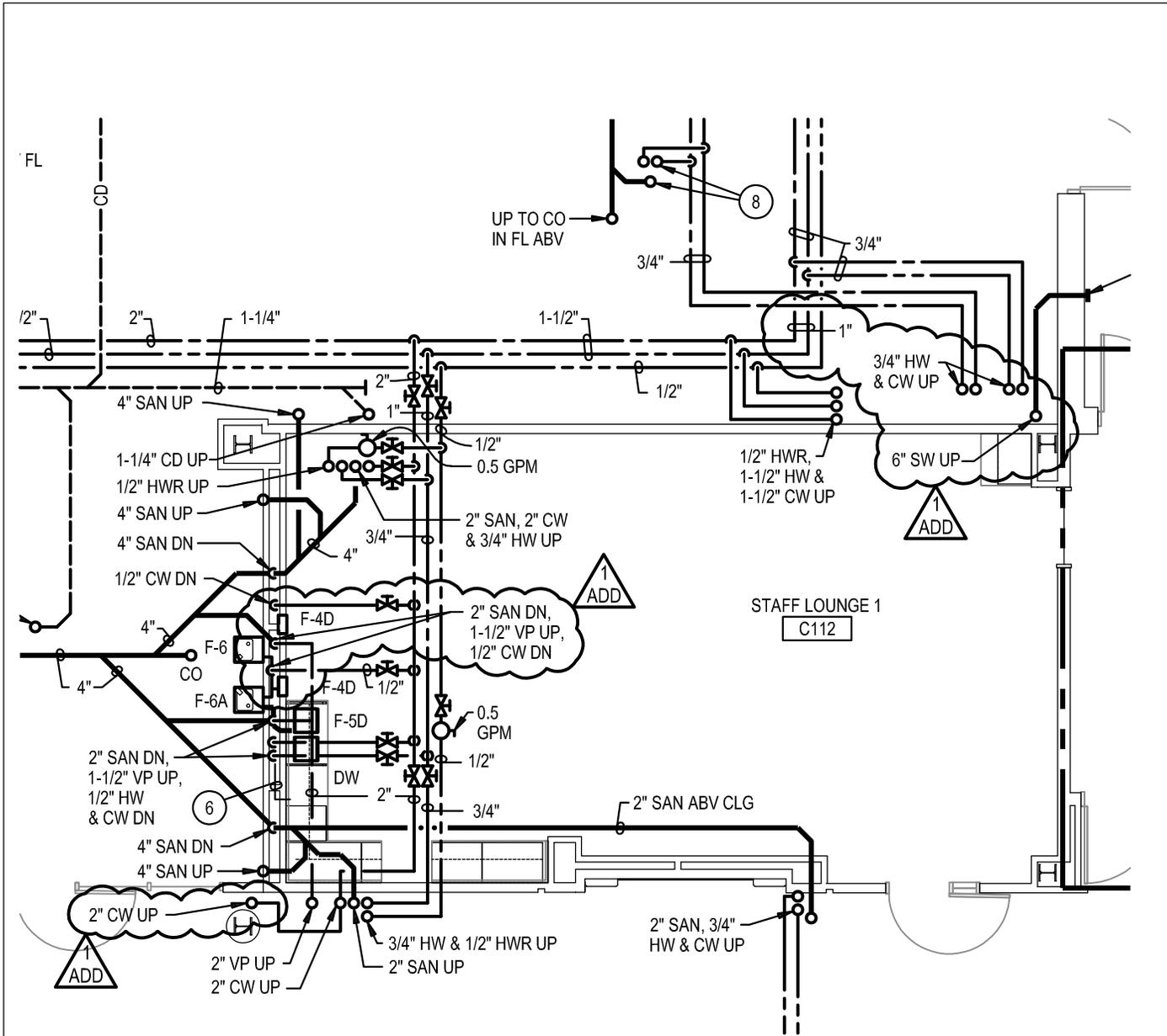
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FIRST FLOOR PLAN - AREA 'C'

SCALE: 1/8"=1'-0"



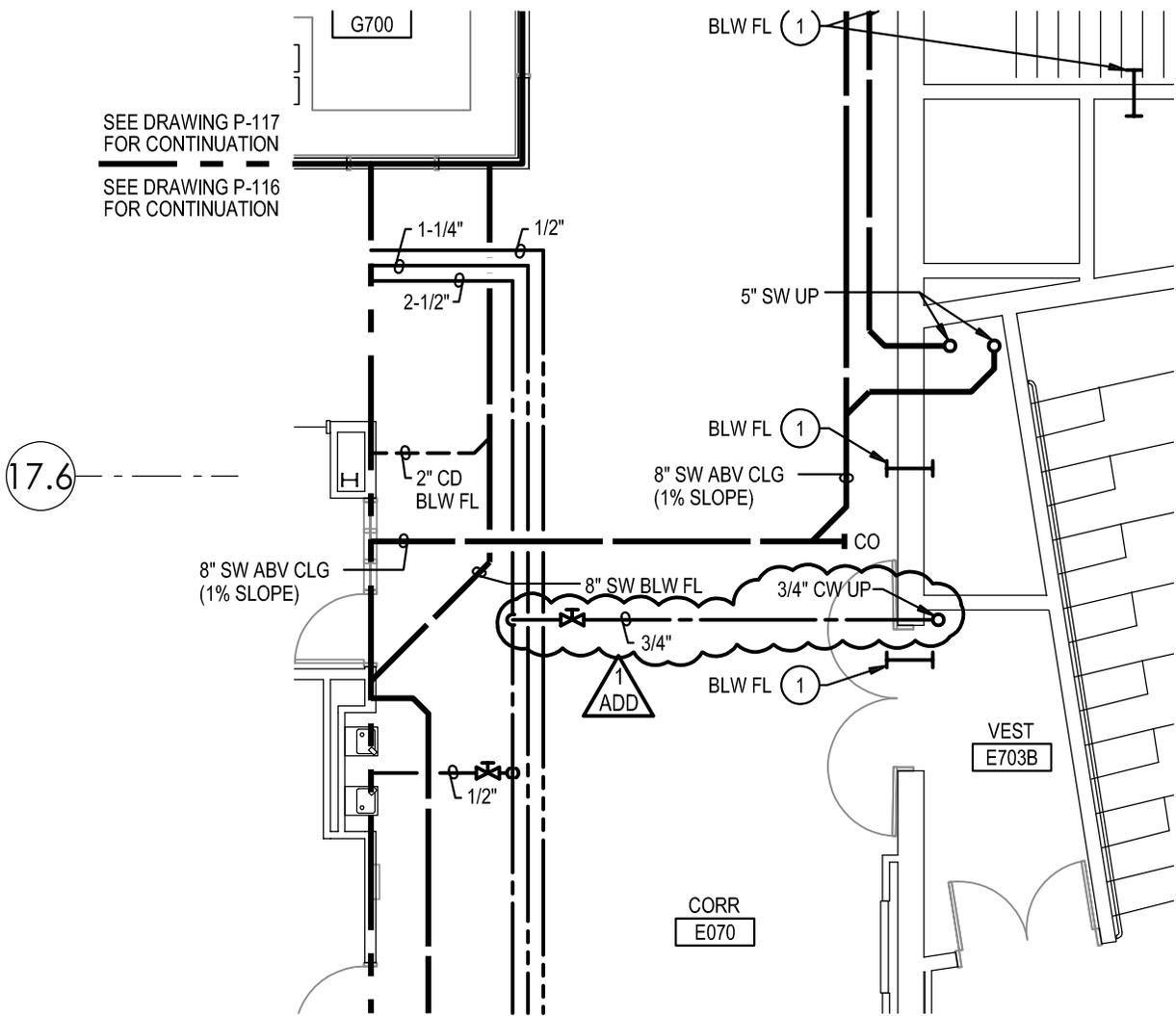
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FIRST FLOOR PLAN - AREA 'E'

SCALE: 1/8"=1'-0"



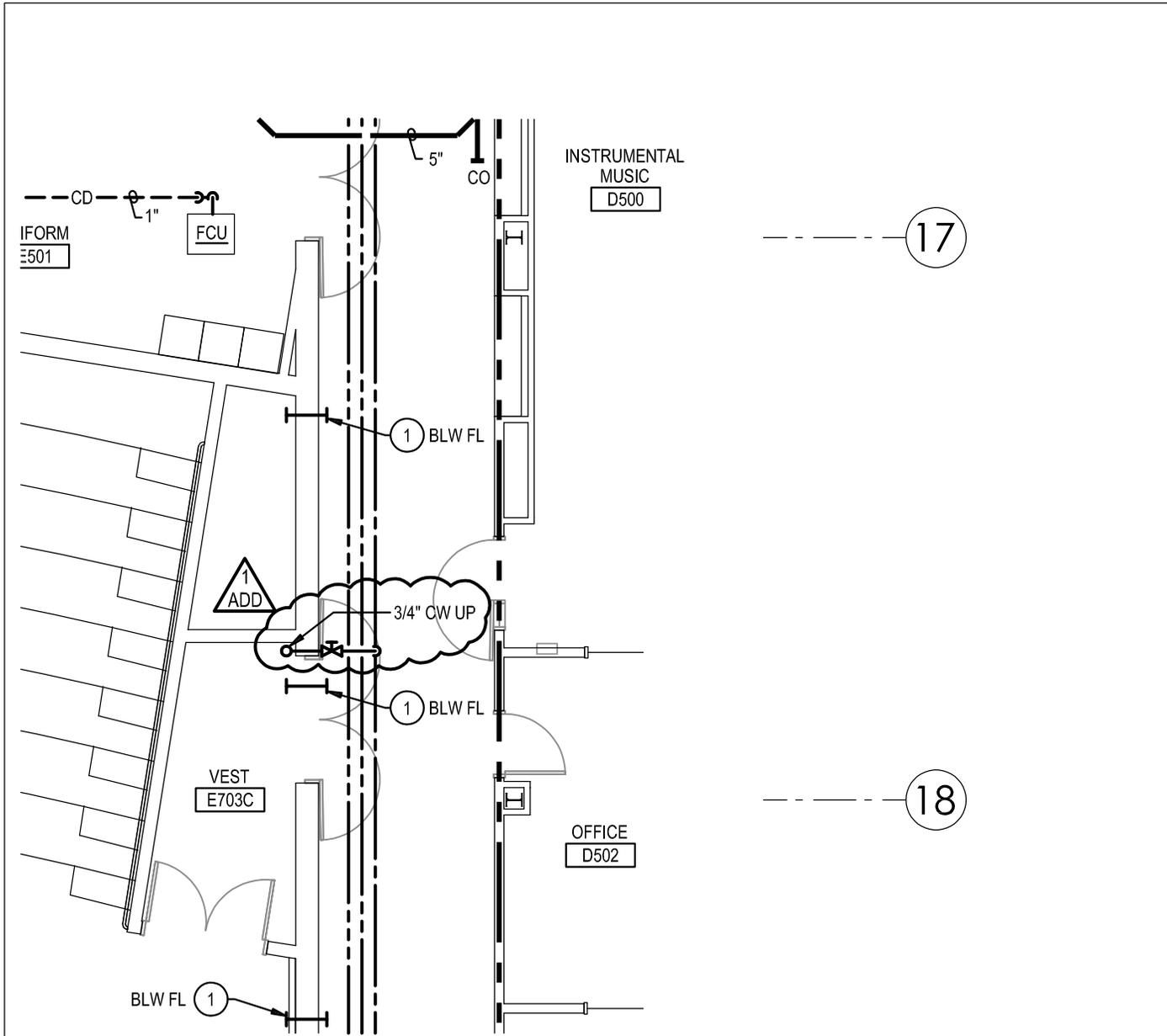
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FIRST FLOOR PLAN - AREA 'E'

SCALE: 1/8"=1'-0"



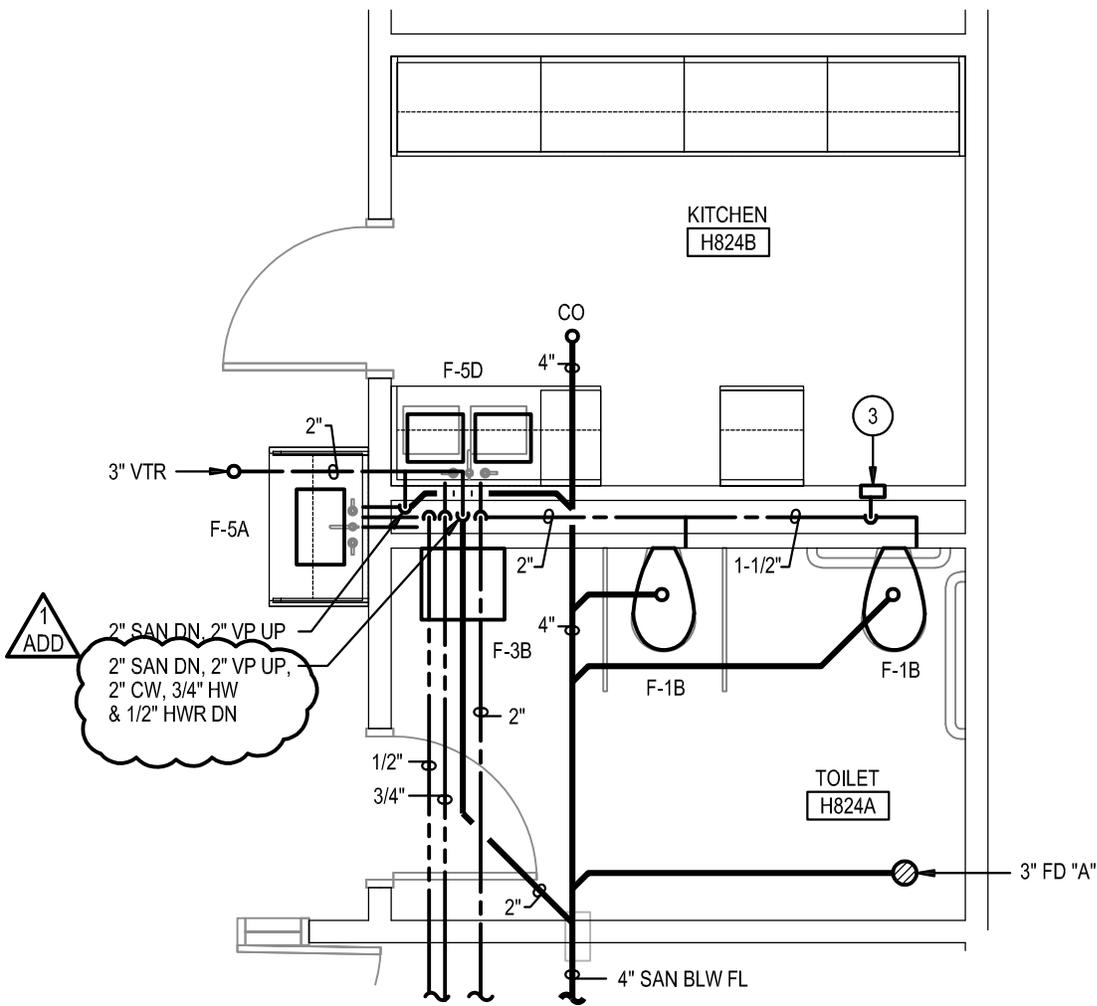
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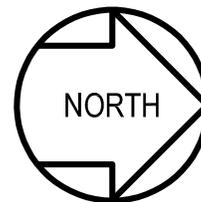
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PART PLAN

SCALE: 1/4"=1'-0"



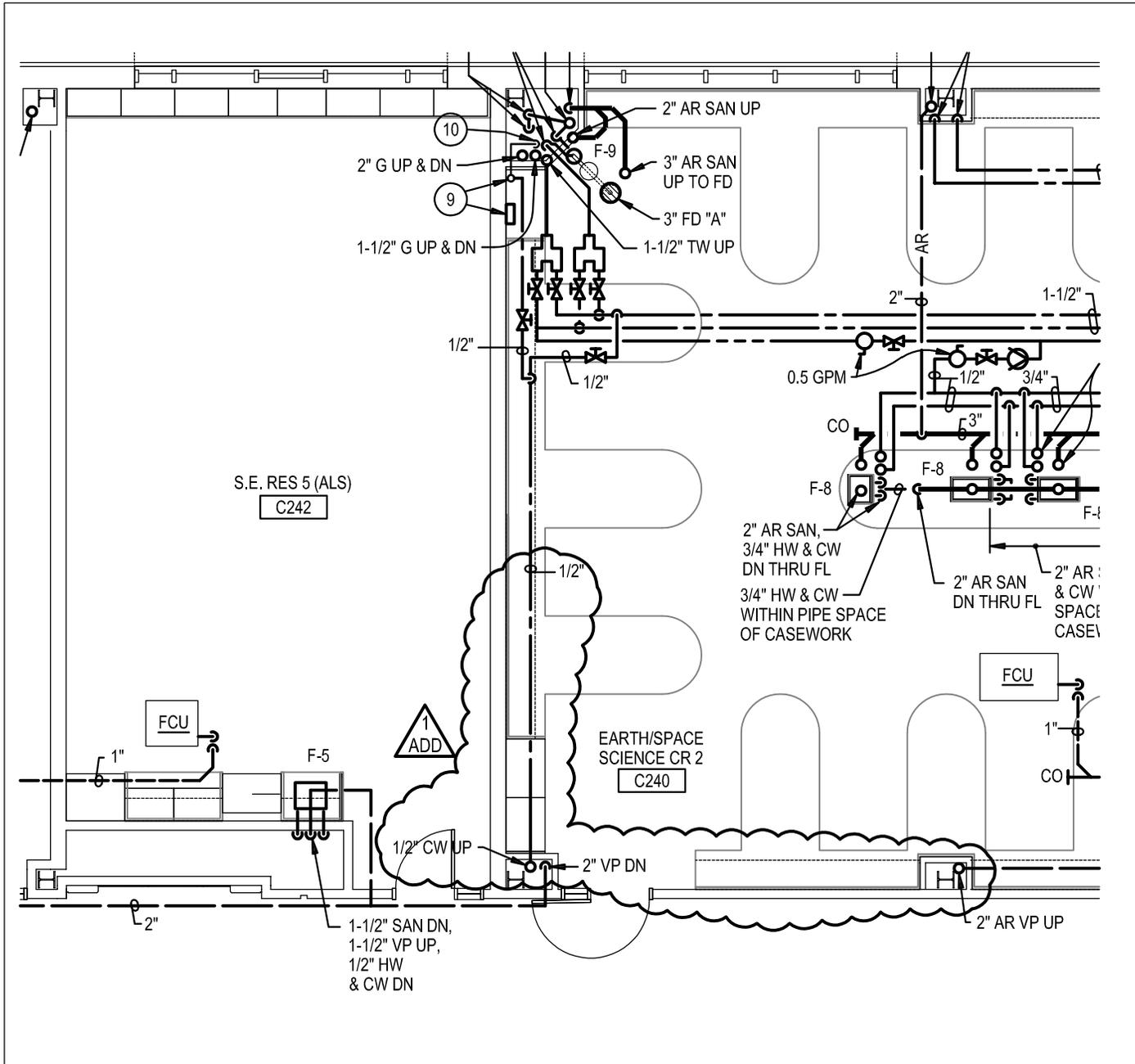
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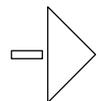
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SECOND FLOOR PLAN - AREA 'C'

SCALE: 1/8"=1'-0"



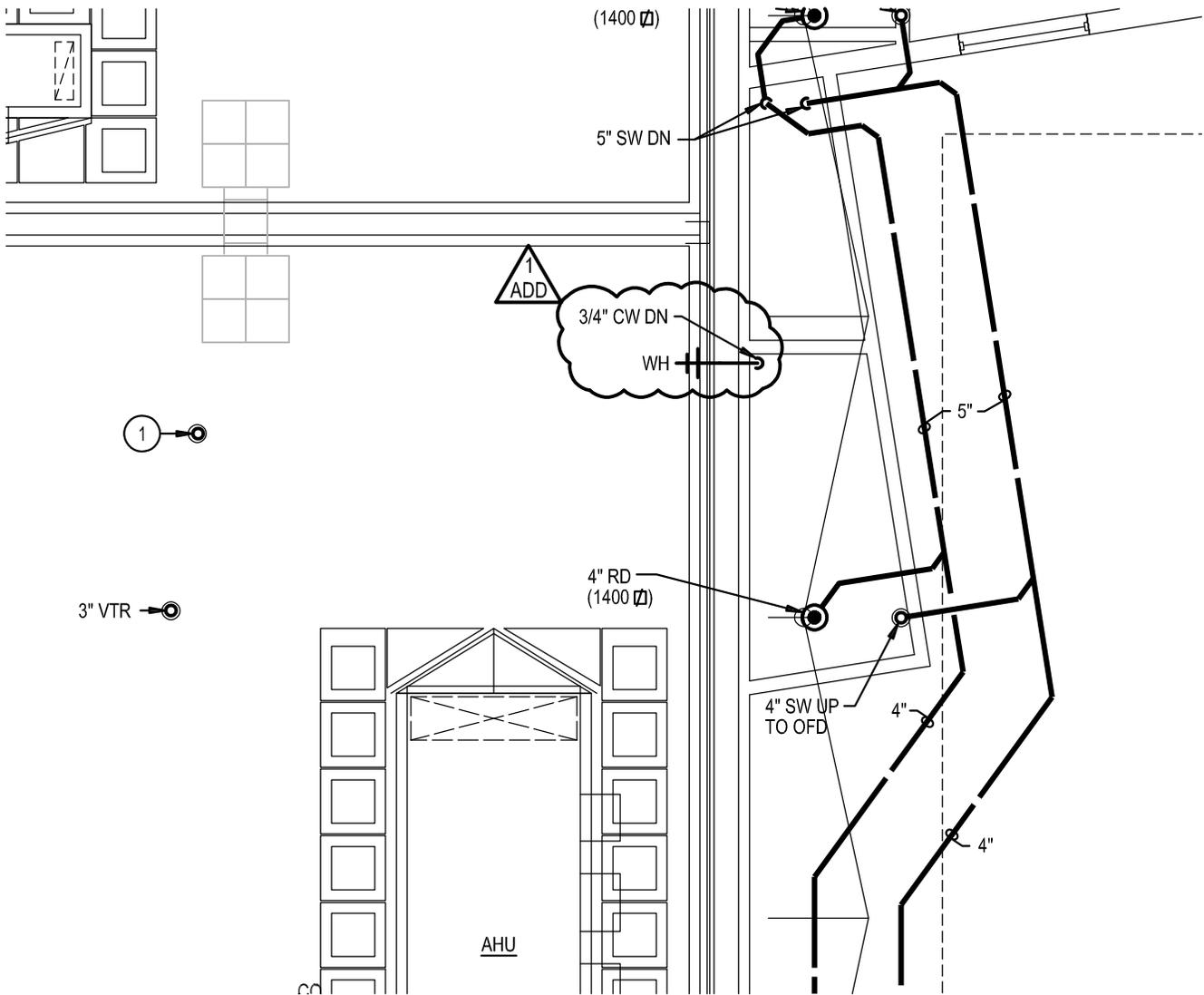
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SECOND FLOOR PLAN - AREAS 'D' & 'E'

SCALE: 1/8"=1'-0"



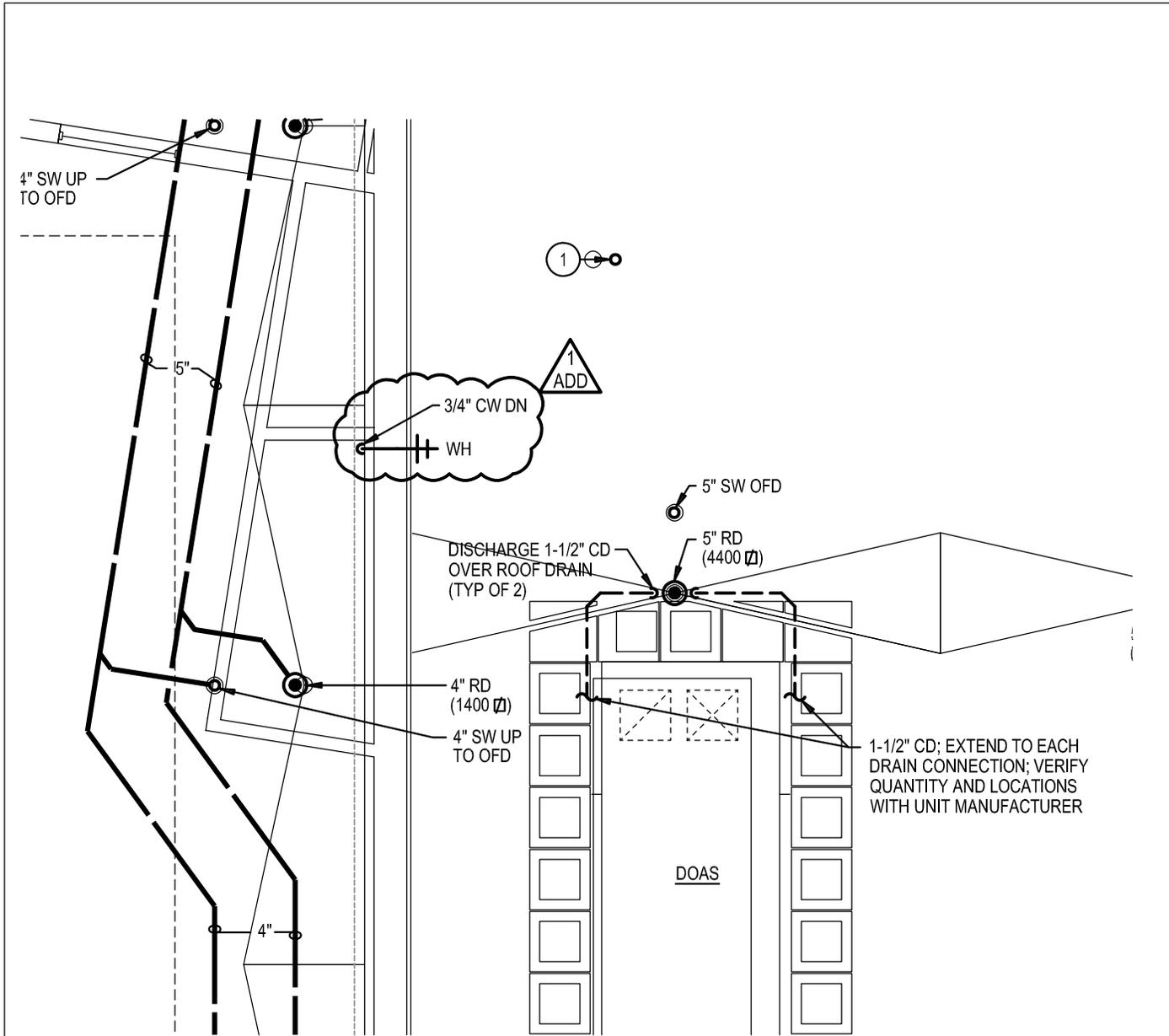
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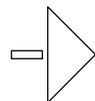
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SECOND FLOOR PLAN - AREAS 'D' & 'E'

SCALE: 1/8"=1'-0"



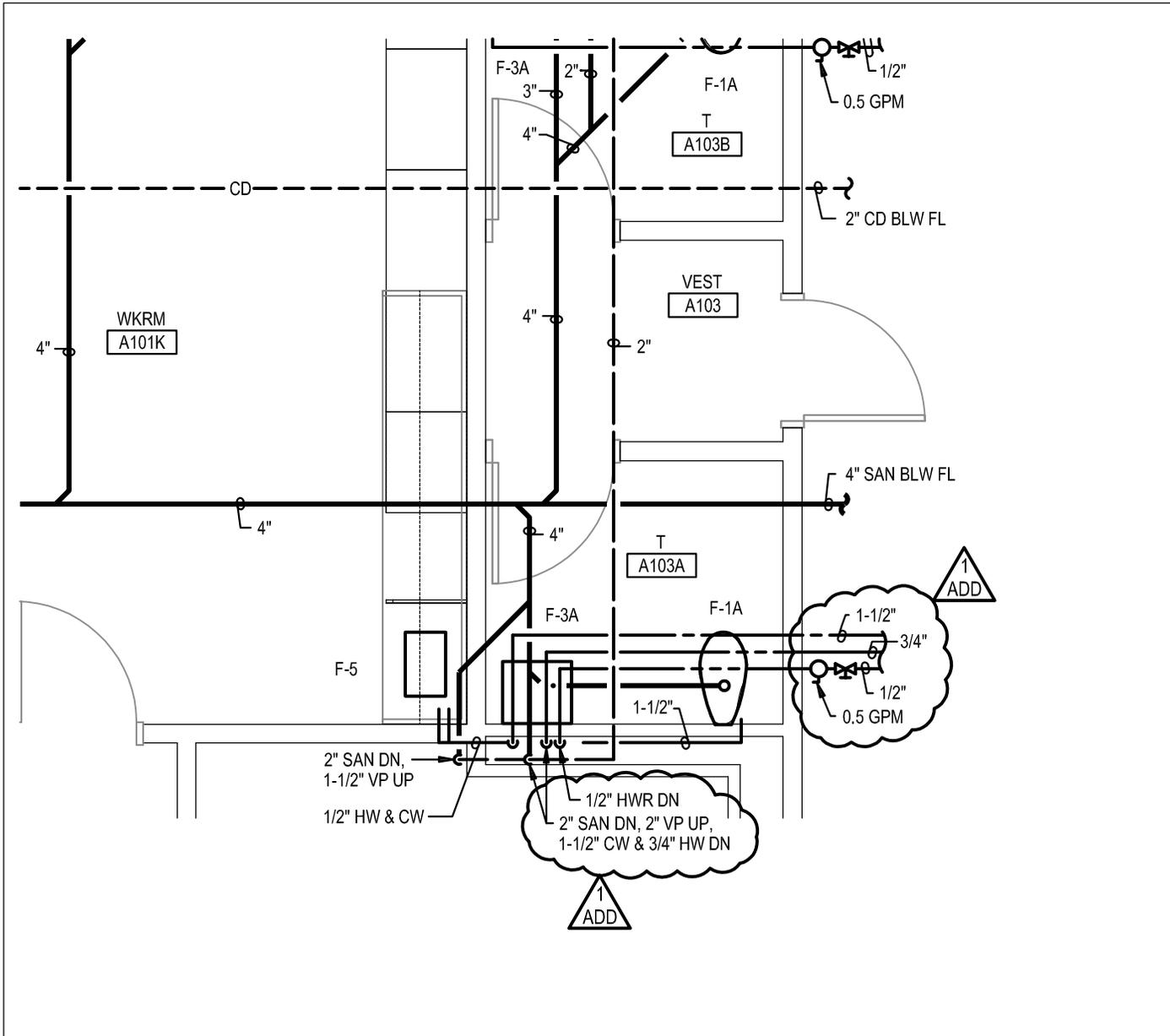
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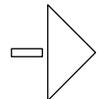
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P201
PART PLAN
FIRST FLOOR - AREA 'A'
SCALE: 1/4"=1'-0"

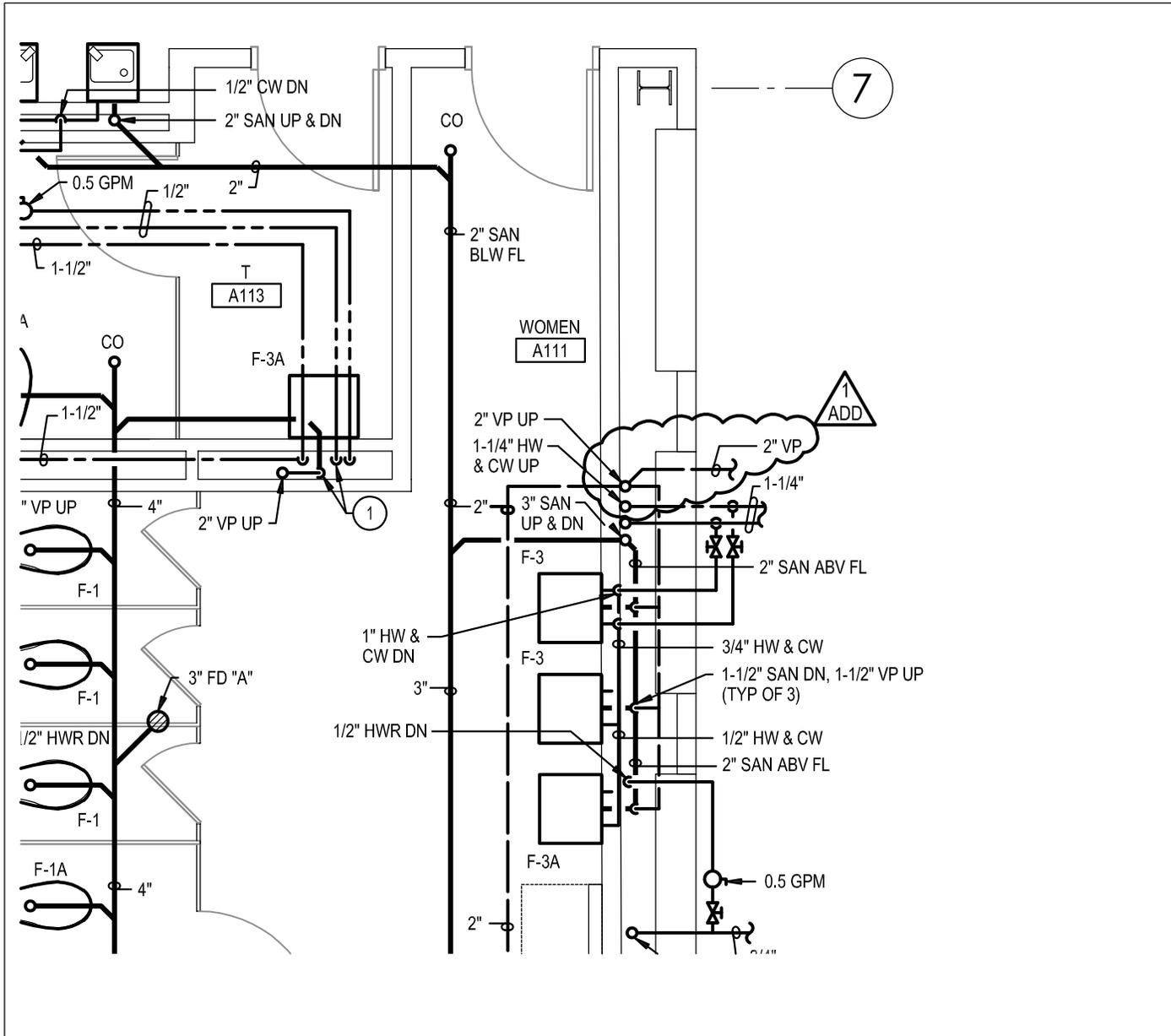


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P201

PART PLAN
FIRST FLOOR - AREA 'A'
 SCALE: 1/4"=1'-0"



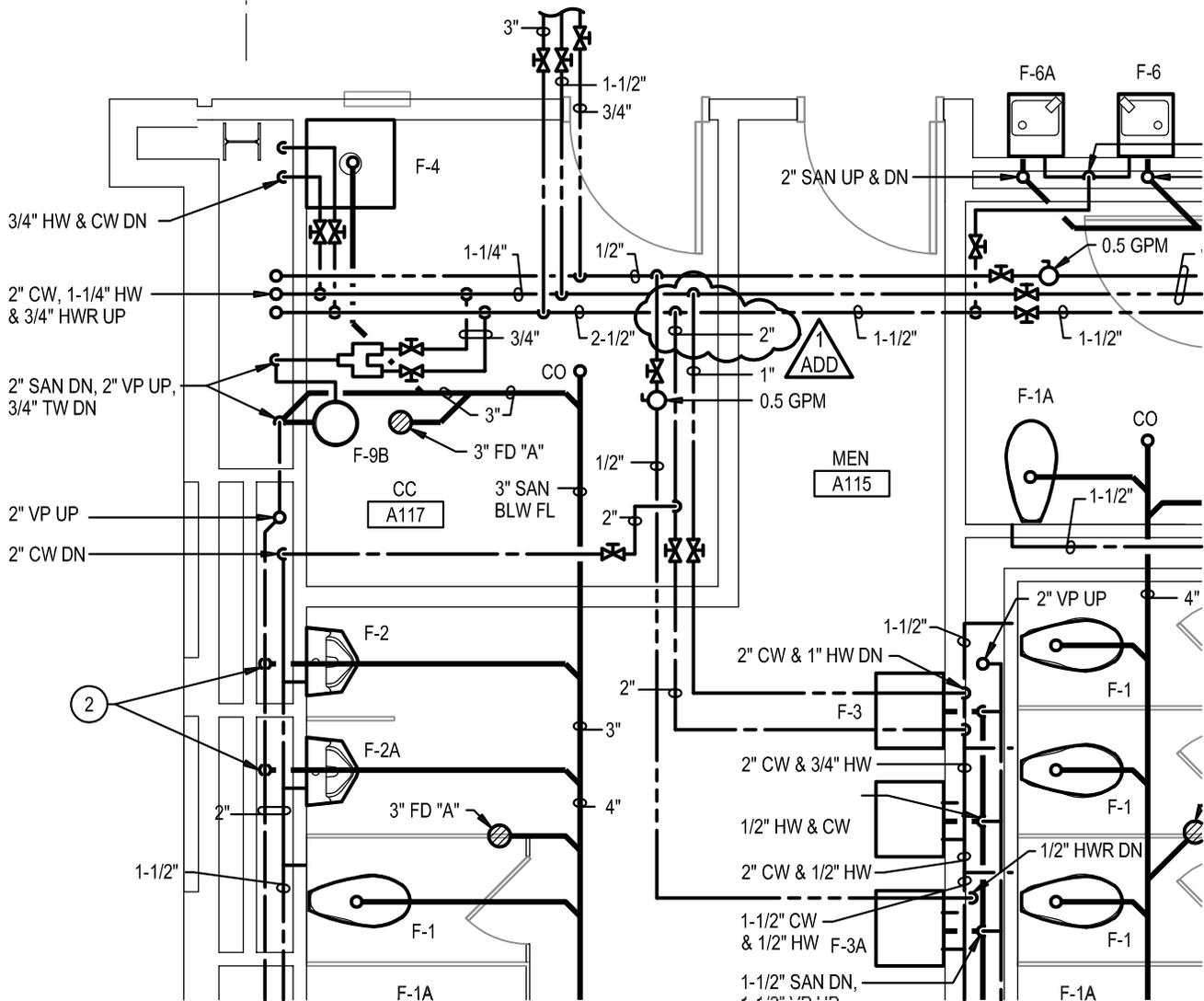
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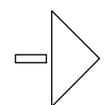
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PART PLAN
P201
FIRST FLOOR - AREA 'A'
SCALE: 1/4"=1'-0"

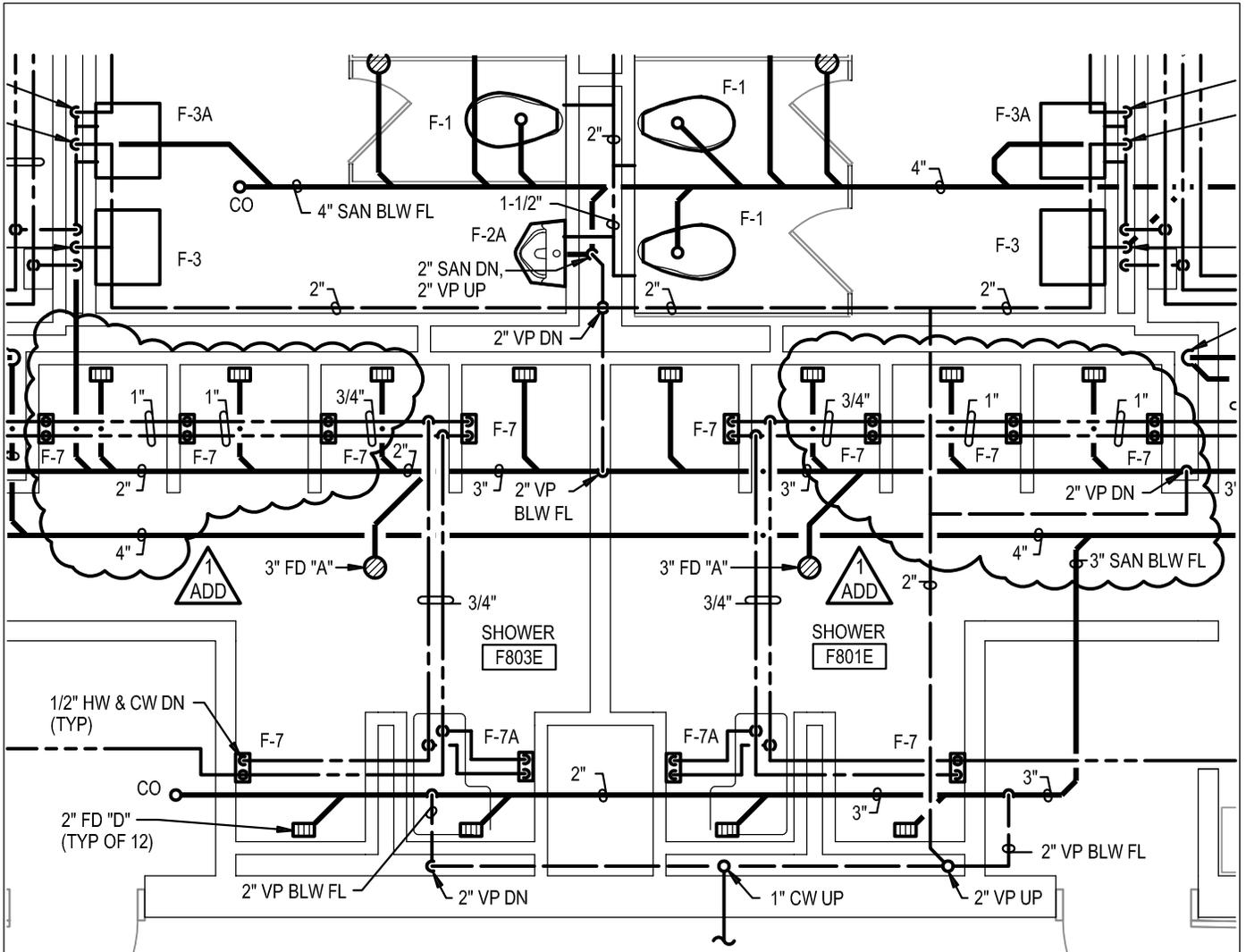


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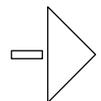
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P202

PART PLAN
FIRST FLOOR - AREA 'F'
 SCALE: 1/4"=1'-0"



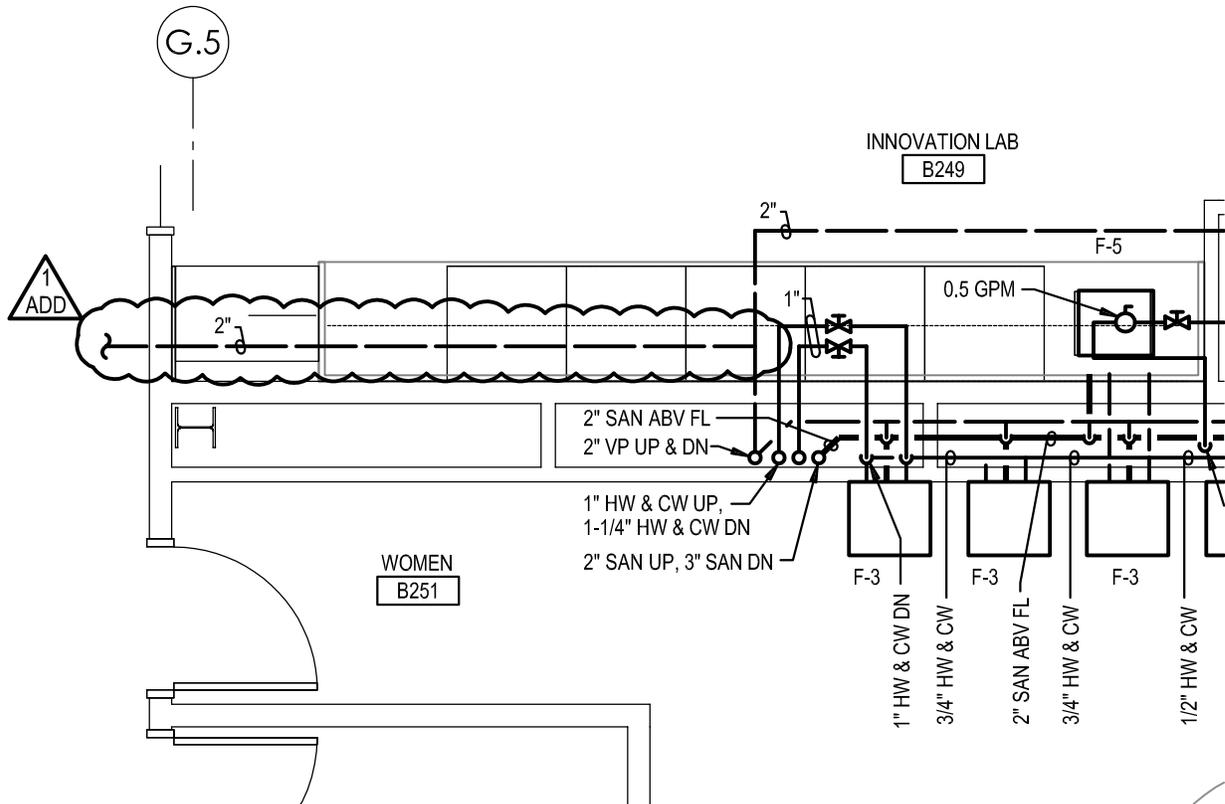
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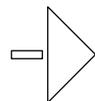
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P202
PART PLAN
SECOND FLOOR - AREA 'B'
SCALE: 1/4"=1'-0"



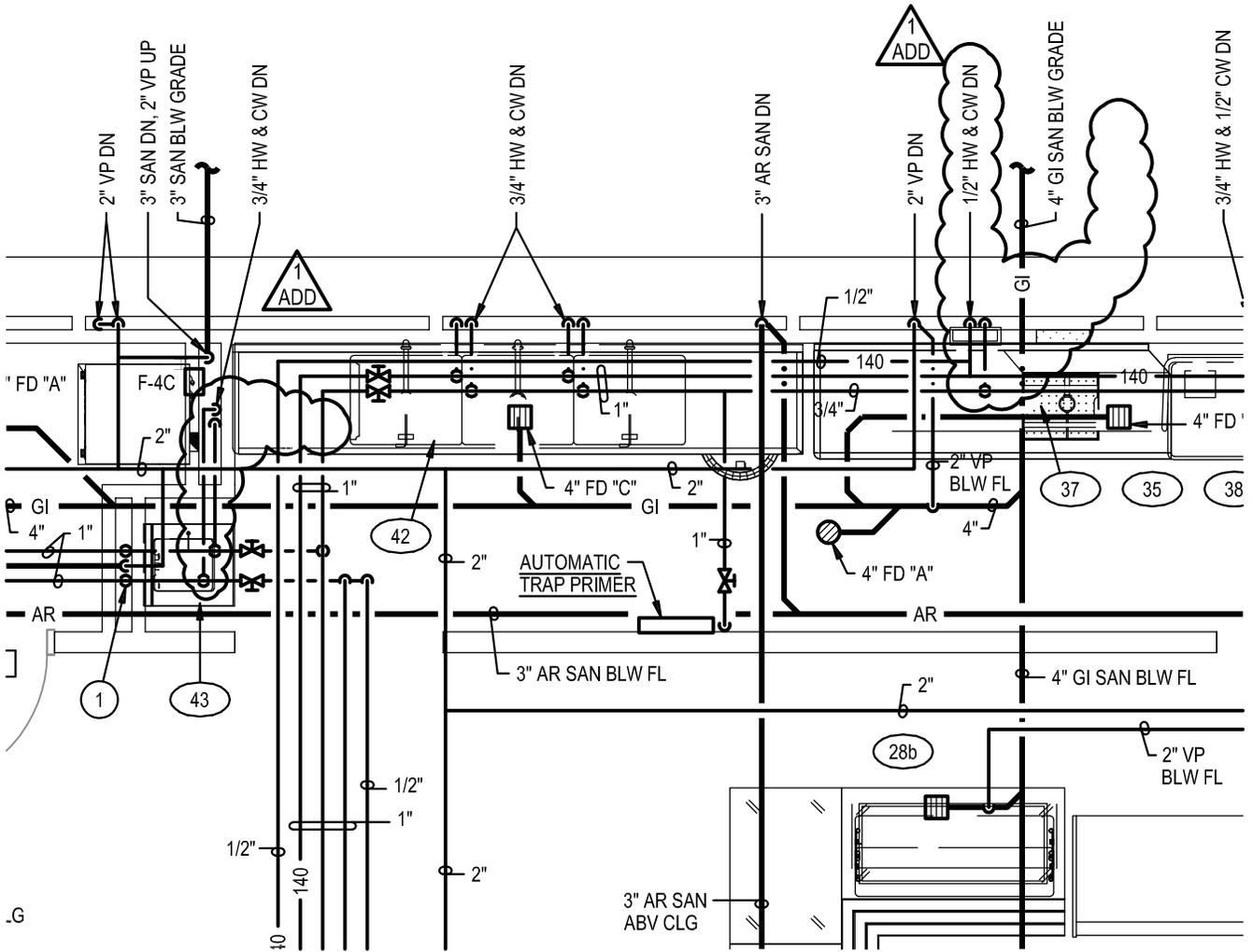
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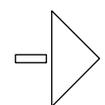
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PART PLAN - KITCHEN
P204
FIRST FLOOR - AREA 'C'
 SCALE: 1/4"=1'-0"

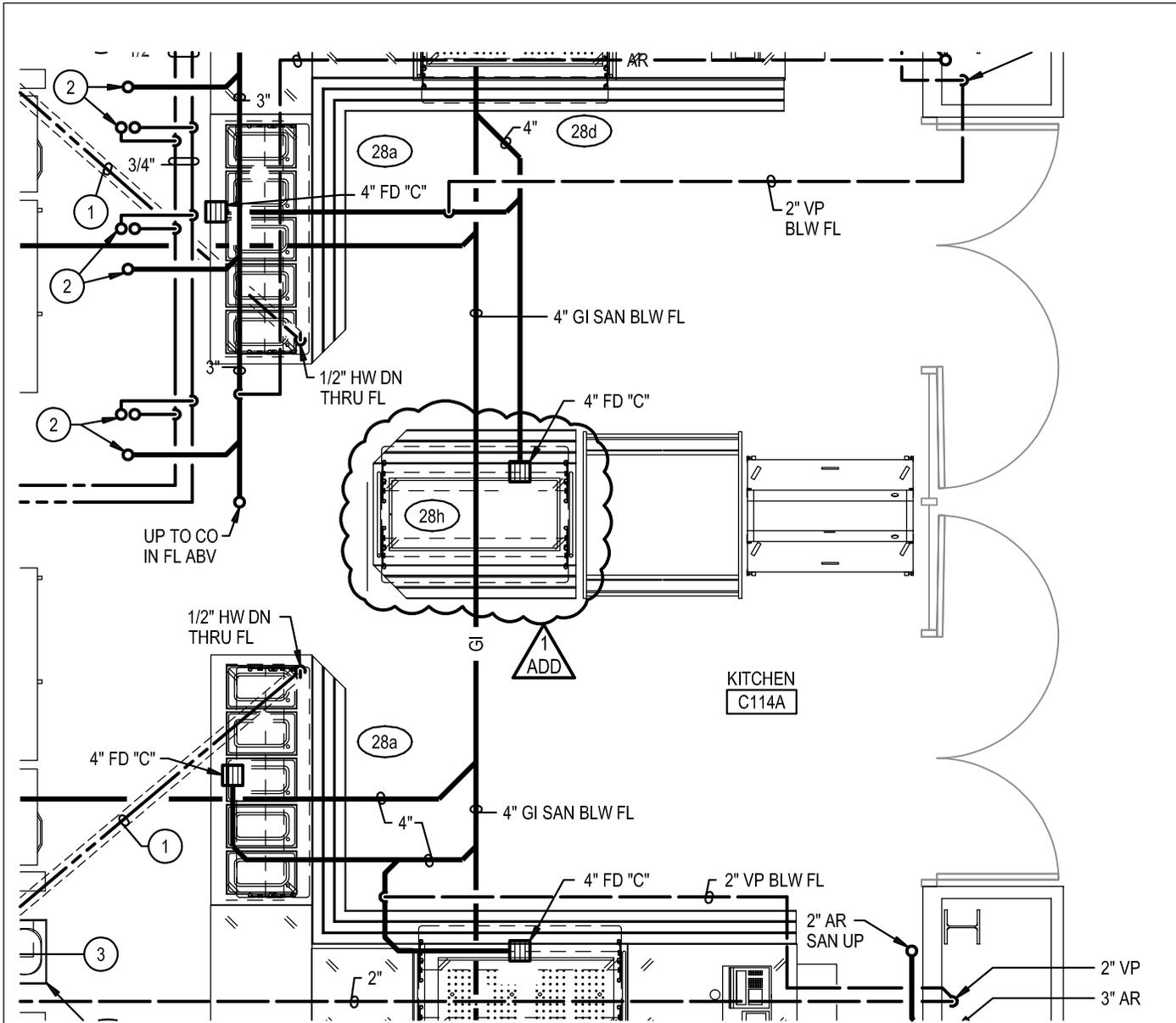


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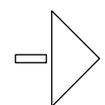
HIGH SCHOOL #13
JESSUP, MARYLAND
 HOWARD COUNTY PUBLIC SCHOOL SYSTEM

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date
 21 JAN 20
dwg
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1
PART PLAN - KITCHEN
FIRST FLOOR - AREA 'C'
 SCALE: 1/4"=1'-0"

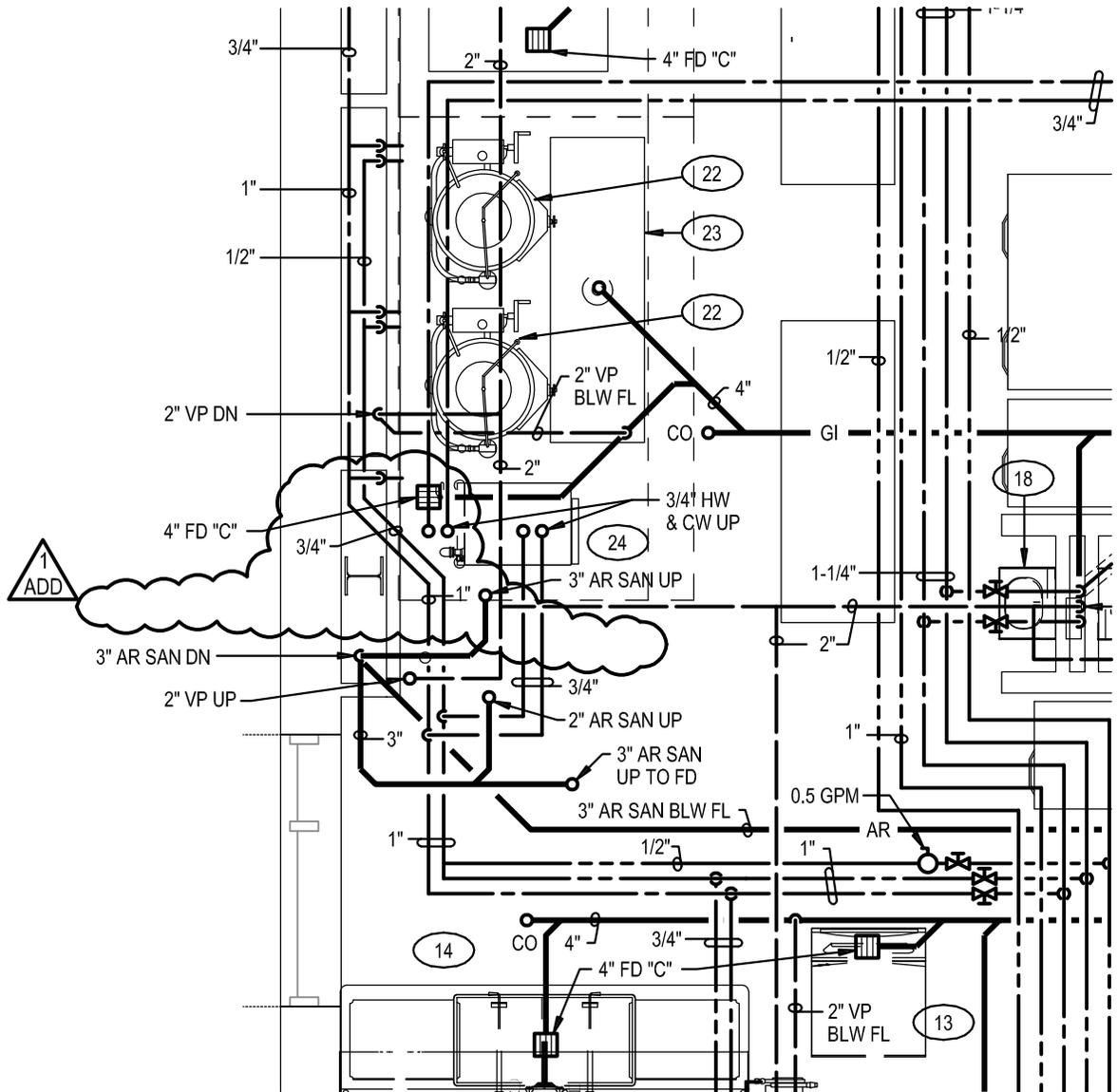


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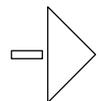
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 ADD_1 P21



1
PART PLAN - KITCHEN
P204
FIRST FLOOR - AREA 'C'
SCALE: 1/4"=1'-0"



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KITCHEN EQUIPMENT ROUGH-IN SCHEDULE

DESG	TYPE OF FIXTURE	CW	HW	GAS	WASTE	NOTES
28a	HOT FOOD COUNTER	-	1/2"	-	3/4"	1,2
28b	FROST TOP COUNTER	-	-	-	3/4"	2
28d	SALAD BAR COUNTER	-	-	-	3/4"	2
28h	FROST TOP COUNTER	-	-	-	3/4"	2
35	SOILED DISHTABLE	-	-	-	1-1/2"	2
37	HOSE REEL	1/2"	1/2"	-	-	1
38	DISHMACHINE	1/2"	3/4"	-	2"	1,2
42	POT WASHING SINK	(2)3/4"	(2)3/4"	-	(3) 2"	1,2
43	HAND SINK	1/2"	1/2"	-	1-1/2"	1,3

1
ADD

NOTES:

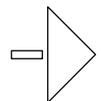
1. PROVIDE SHUT-OFF STOPS IN SUPPLIES TO EQUIPMENT.
2. EXTEND EACH WASTE PIPE TO DISCHARGE INDIVIDUALLY OVER FLOOR DRAIN OR FLOOR SINK WITH AIR GAP.
3. PROVIDE ASSE 1070 MIXING VALVE

1
P204

PART PLAN - KITCHEN

FIRST FLOOR - AREA 'C'

SCALE: 1/4"=1'-0"



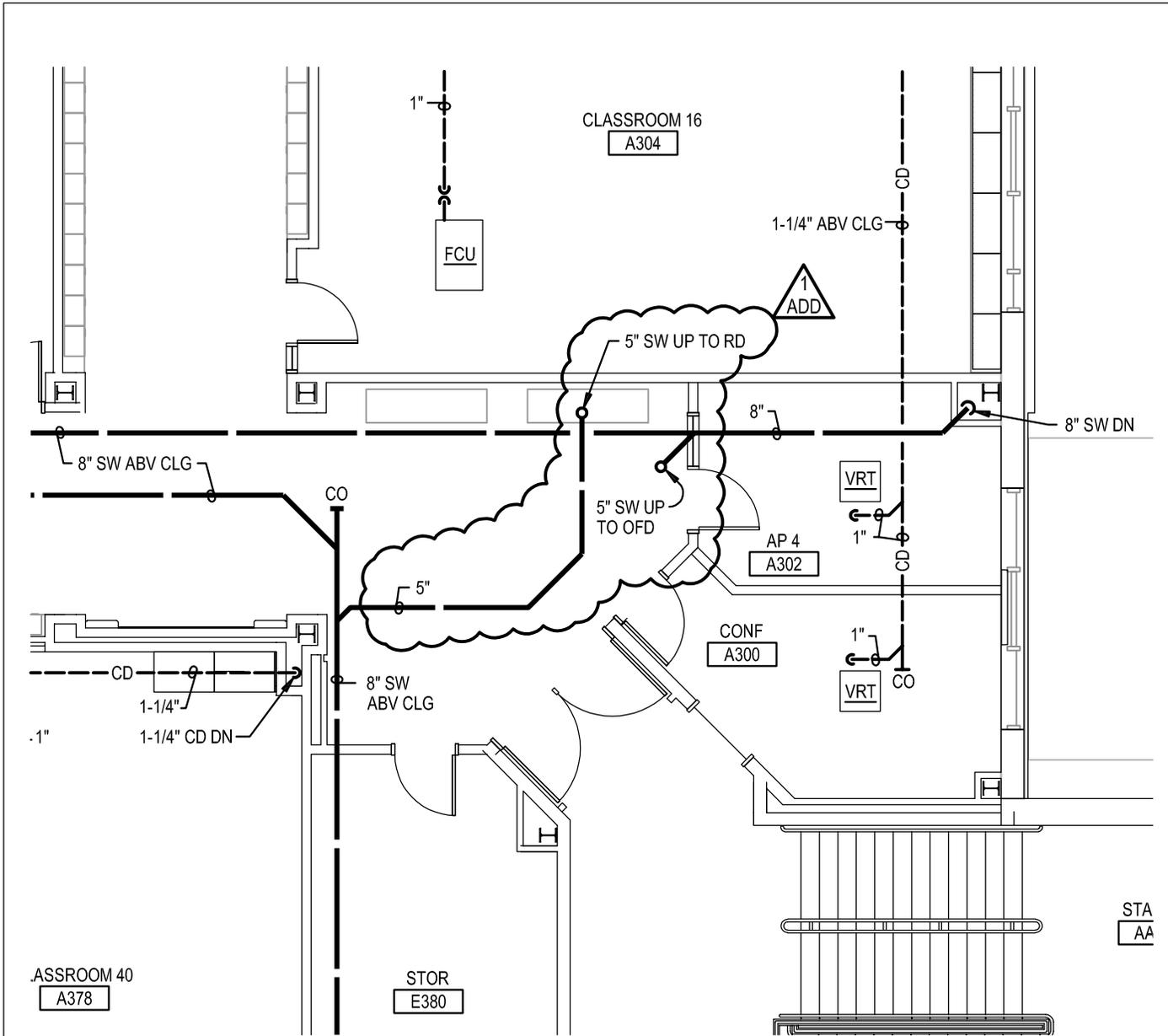
REFERENCE
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21 JAN 20

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THIRD FLOOR PLAN - AREA 'A'

SCALE: 1/8"=1'-0"



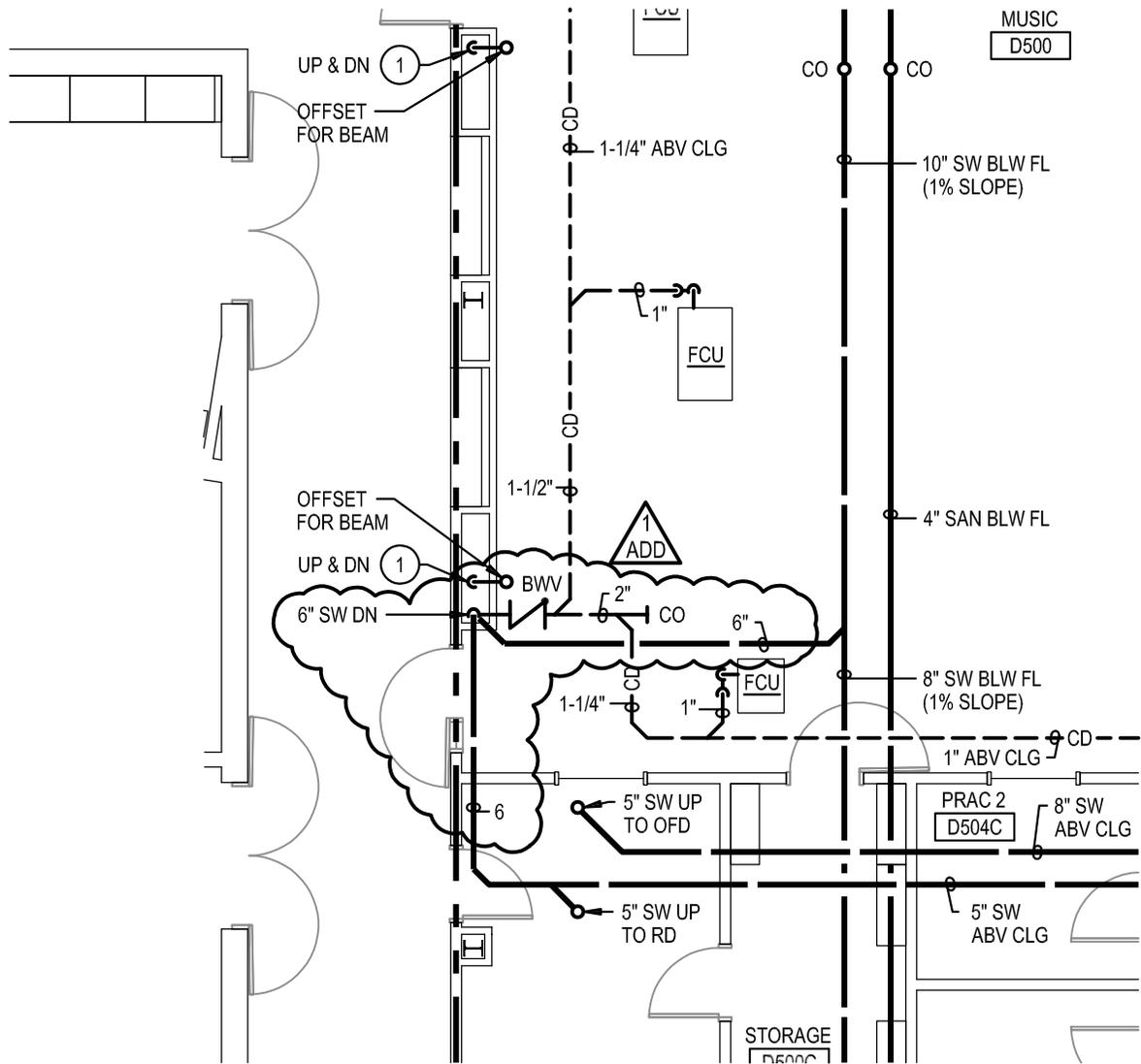
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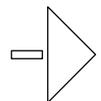
date
 21 JAN 20

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SECOND FLOOR PLAN - AREA 'D'

SCALE: 1/8"=1'-0"



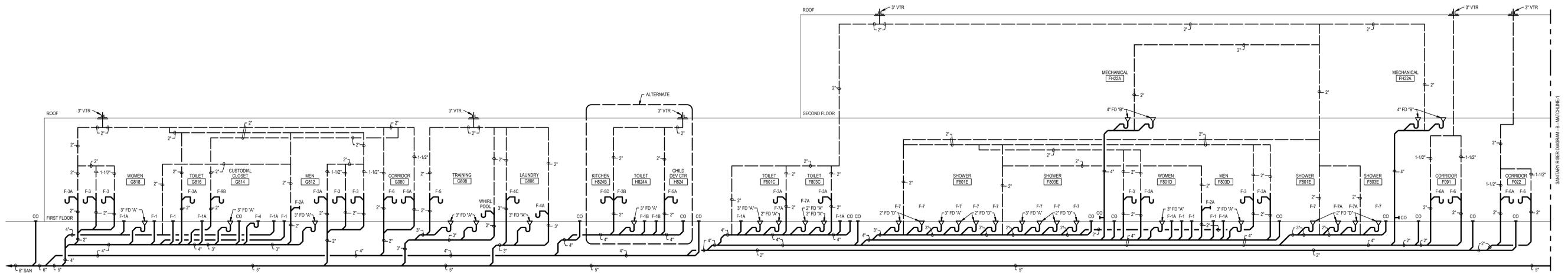
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NORTH

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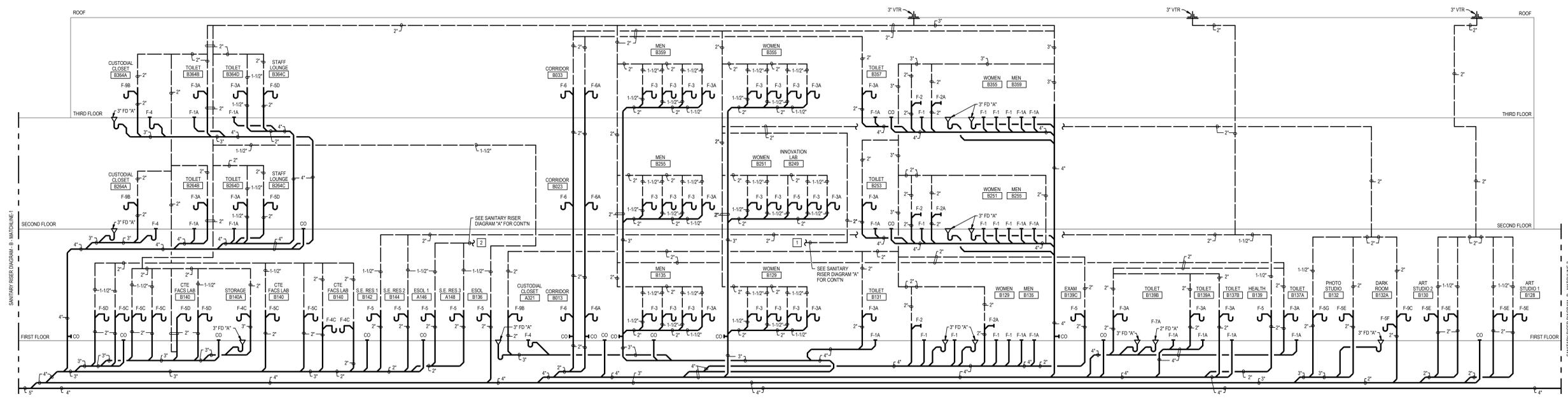
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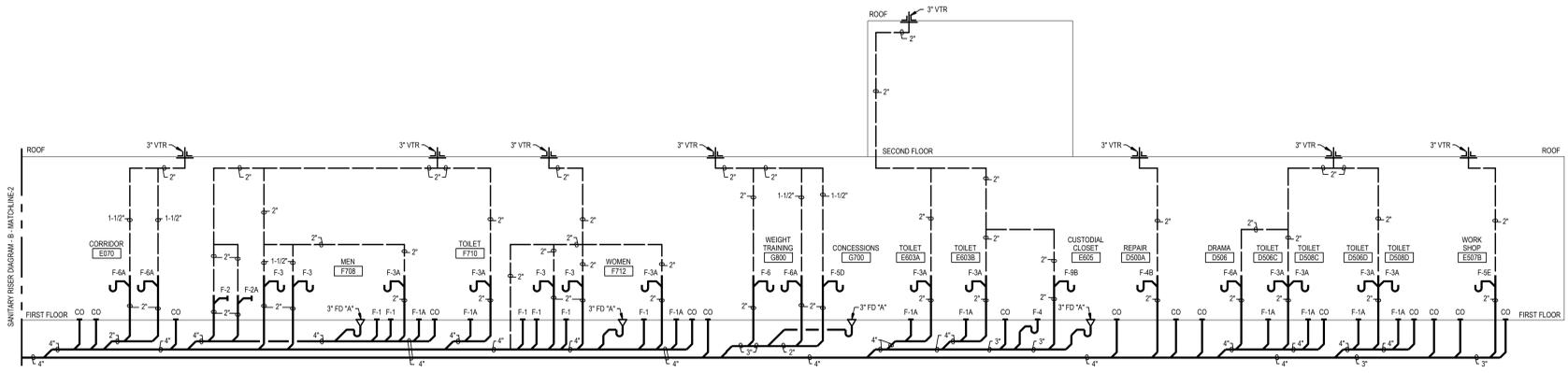
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SANITARY RISER DIAGRAM "B"
NOT TO SCALE



SANITARY RISER DIAGRAM "B"
NOT TO SCALE



SANITARY RISER DIAGRAM "B"
NOT TO SCALE



James Posey Associates
Engineering and Construction
Mechanical & Electrical
1145 Red Bank Boulevard, Suite 310
Baltimore, Maryland 21207
tel 410-265-6000
jamesposey.com

Professional Certification:
I hereby certify that these documents
were prepared by me, or under my
supervision and that I am a duly licensed
professional engineer under the laws
of the State of Maryland.
License No. 33986
Expiration date: 01-16-2021.

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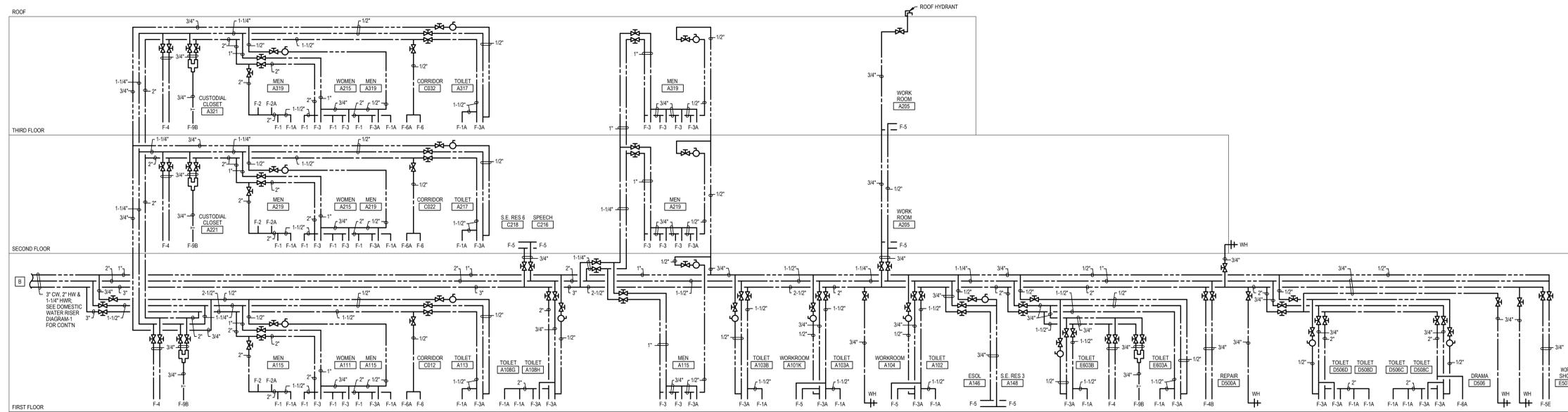
revisions
IAC CD REVIEW 8 OCTOBER 19
BUILDING PERMIT 7 JANUARY 20

BID AND CONSTRUCTION
7 JANUARY 20

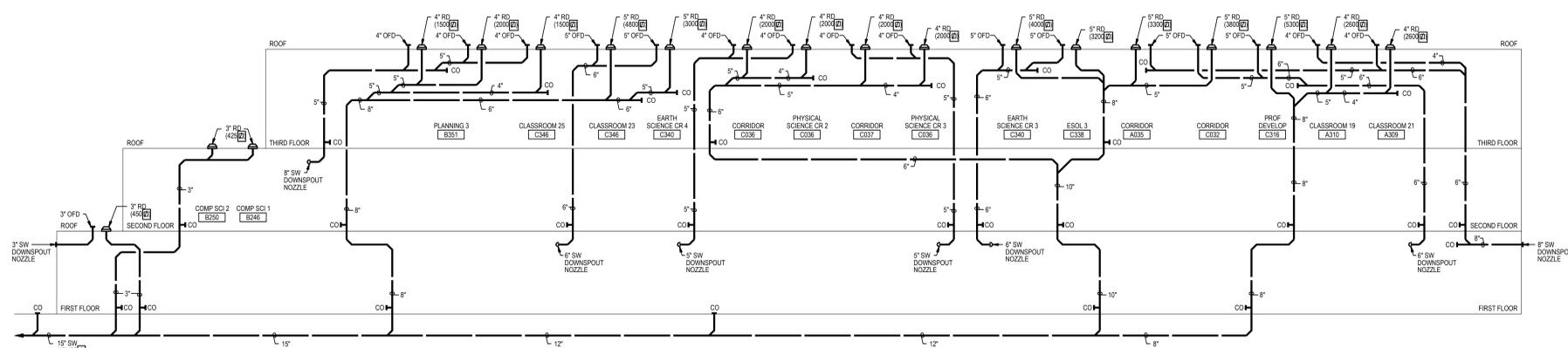
**RISER
DIAGRAMS**

P-504

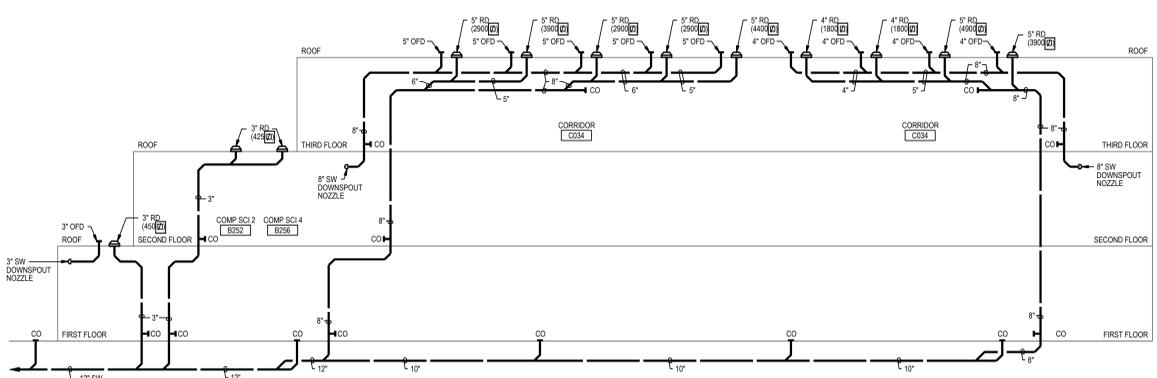
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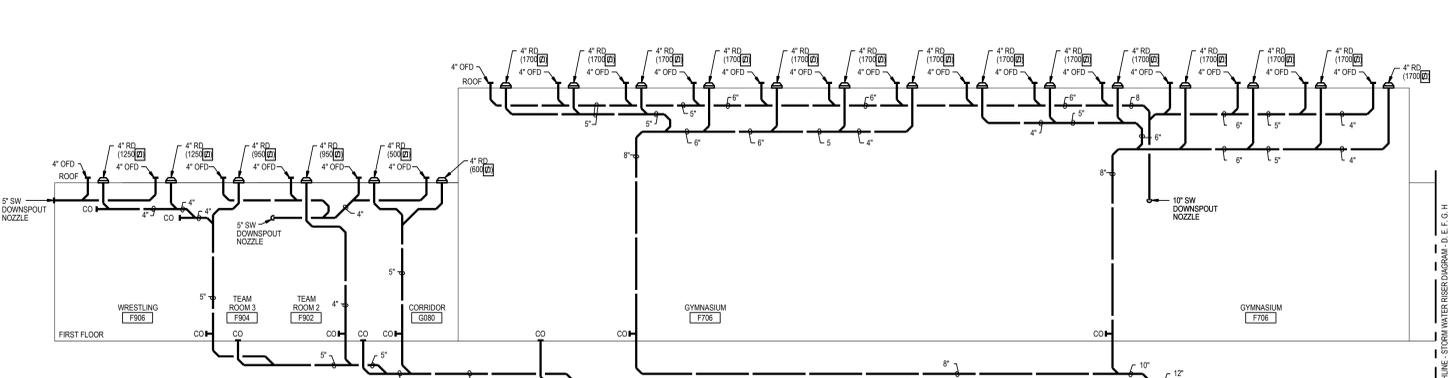
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NOT TO SCALE



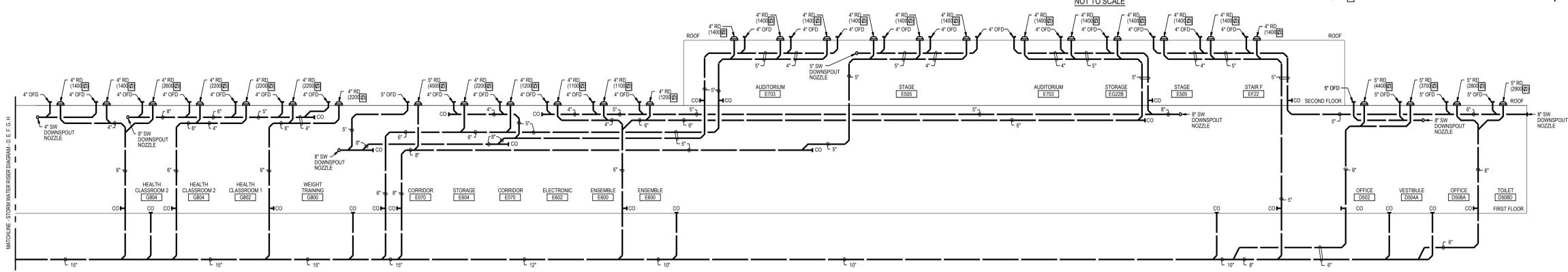
STORM WATER RISER DIAGRAM - AREAS 'A', 'B' & 'C'
NOT TO SCALE



STORM WATER RISER DIAGRAM - AREAS 'A' & 'B'
NOT TO SCALE



STORM WATER RISER DIAGRAM - AREAS 'D', 'E', 'F', 'G', & 'H'
NOT TO SCALE



STORM WATER RISER DIAGRAM - AREAS 'D', 'E', 'F', 'G', & 'H'
NOT TO SCALE



Professional Certification:
I hereby certify that these documents
were prepared by me or under my
supervision and that I am a duly licensed
professional engineer under the laws
of the State of Maryland.
License No. 33986
Expiration date: 01-16-2021.

revisions
IAC CD REVIEW
8 OCTOBER 19
BUILDING PERMIT
7 JANUARY 20

BID AND CONSTRUCTION
7 JANUARY 20

RISER
DIAGRAMS

P-506

WIRING PANEL SCHEDULE SL																	
277 / 480 VOLTS			3 PHASE 4 WIRE			400 AMP BUS			SURFACE MOUNTED								
CIR- CUIT	POLE	DESCRIPTION	WIRE/ CONDUIT	BREAKER		KVA / Ø			CIR- CUIT	POLE	DESCRIPTION	WIRE/ CONDUIT	BREAKER				
				POLE	AMP	A Ø	B Ø	C Ø					POLE	AMP			
1	1	LTG - STADIUM BLDG LIGHTS	#10-3/4"C	1	20	0.5	4.6				2	2	POLE F1	3#8+	3	40	
3	3	LTG - WALL PACKS	#10-3/4"C	1	20			0.2	4.6		-	4	(FIELD LIGHTS)	#8G-			
5	5	POLE F2	3#8+	3	40					4.6	4.6	-	6	1 1/4"C			
-	7	(FIELD LIGHTS)	#8G-			4.6	0.4					8	8	3#10+	3	20	
-	9		1 1/4"C					4.6	0.4			-	10	#10G-			
11	11	POLE F2	3#10+	3	20					0.4	0.4	-	12	1"C			
-	13	(BALL TRACKING LIGHTS)	#10G-			0.4	4.6					14	14	3#8+	3	40	
-	15		1"C					0.4	4.6			-	16	#8G-			
17	17	POLE F4	3#8+	3	40					4.6	4.6	-	18	1 1/4"C			
-	19	(FIELD LIGHTS)	#8G-			4.6	0.4					20	20	3#8+	3	20	
-	21		1 1/4"C					4.6	0.4			-	22	#8G-			
23	23	POLE F4	3#10+	3	20					0.4	0.4	-	24	1 1/4"C			
-	25	(BALL TRACKING LIGHTS)	#10G-			0.4						26	26		3	20	
-	27		1 1/4"C					0.4				-	28				
29	29	POLE F1, F2 BATTERY LIGHTS	#8-1-1/4"C	1	20					0.1		-	30				
31	31	PANEL SM	3#3+	3	125	20.5						32	32		1	20	
-	33		#8G-					18.8				34	34		1	20	
-	35		4"C							18.2		36	36		1	20	
37	37	POLE F3, F3 BATTERY LIGHTS	#8-1-1/4"C	1	20	0.1	-					38	38	4#8+	3	30	
39	39	SPARE		1	20					-		-	40	#8G-			
41	41	SPARE		1	20					-		-	42	3/4"C			
CONNECTED LOAD =						118.4	KVA	41.1	10.0	29.0	10.0	28.3	10.0				
DEMAND LOAD =						118.4	KVA							MAIN BREAKER		400	AMPS
MIN AIC RATING =						25,000	AMPS SYMMETRICAL	SERVICE ENTRANCE RATED PANEL						LOCATION		STADIUM BLDG	

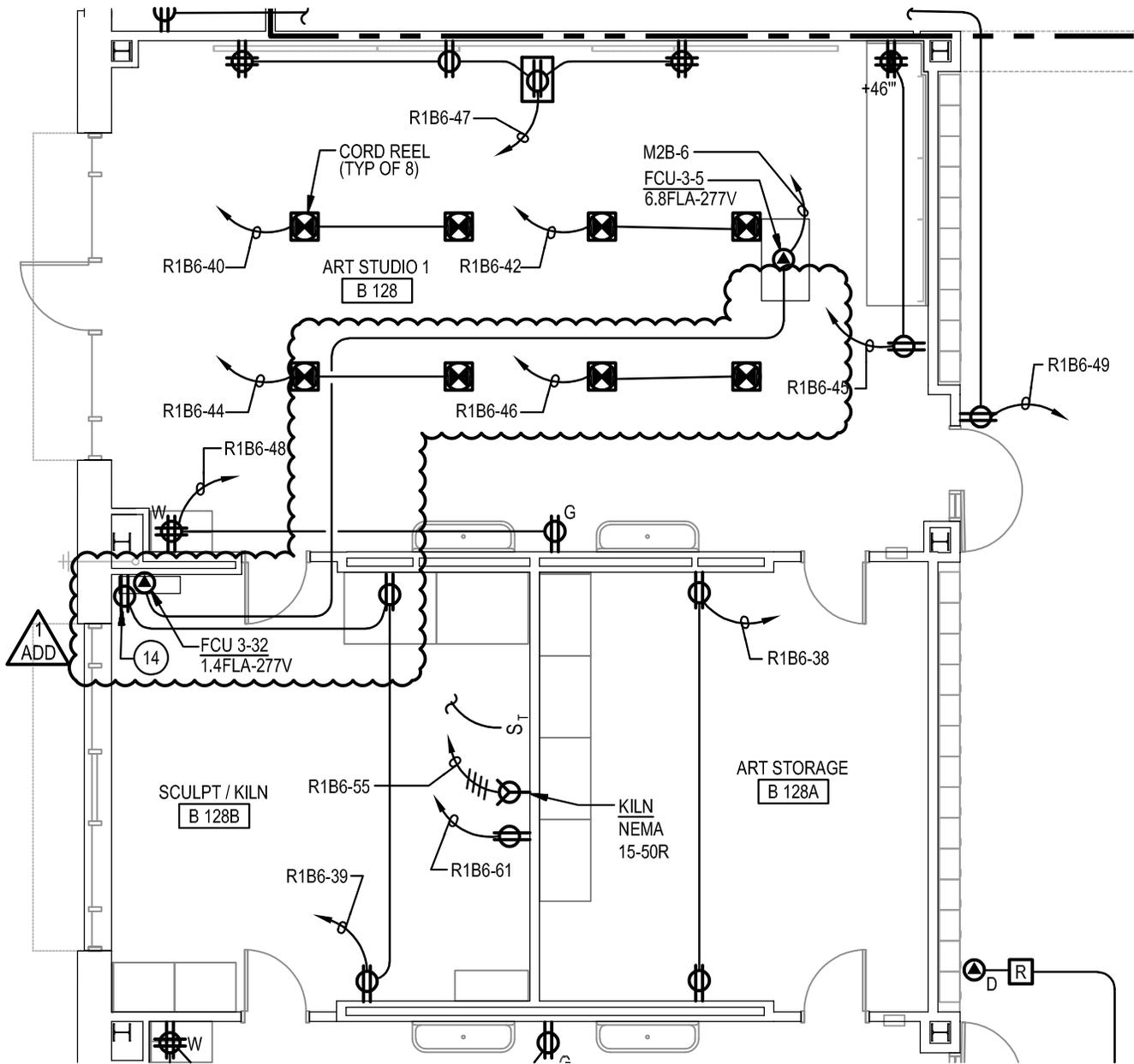
date 21 JAN 20
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13 CONNECT TO RANGE HOOD AND LIGHT.

14 PROVIDE RECEPTACLE IN FAN COIL UNIT ACCESS PANEL FOR CONDENSATE PUMP.



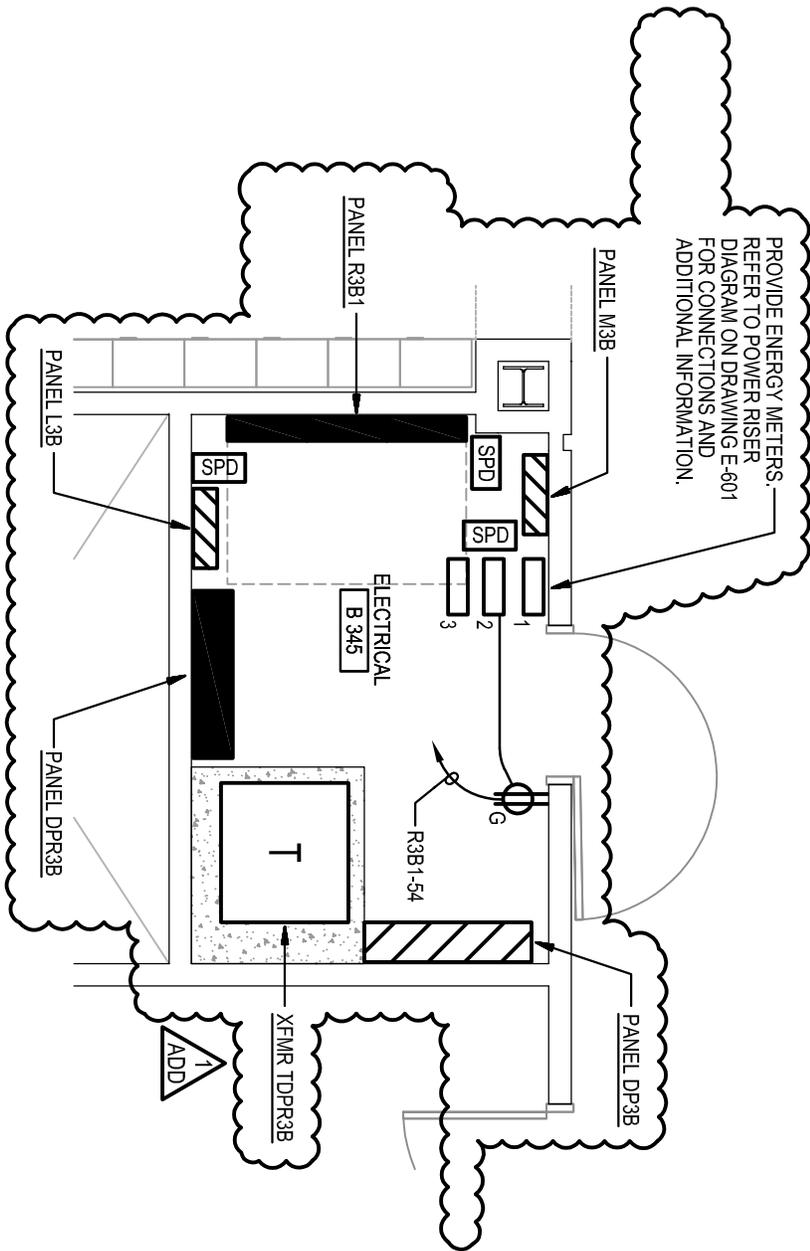
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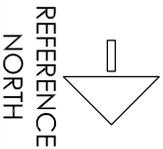
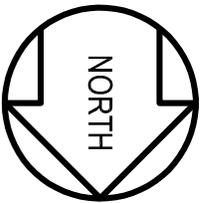
date
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9
EP-203

PART THIRD FLOOR PLAN
AREA "B" - ELECTRICAL B 345
 SCALE: 1/4"=1'-0"



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GENERATOR DOCKING STATION

FOR CONNECTIONS FROM A TEMPORARY PORTABLE GENERATOR TO AUTOMATIC TRANSFER SWITCH ATS-1 WHEN THE EMERGENCY SYSTEM OF THE ONSITE GENERATOR IS DISABLED.

WARNING: FOR CONNECTION OF A SEPARATELY DERIVED (BONDED NEUTRAL) SYSTEM ONLY.
CONFIGURE TEMPORARY PORTABLE GENERATOR WITH GENERATOR NEUTRAL BONDED TO GENERATOR GROUND.

THE TEMPORARY PORTABLE GENERATOR SHALL BE ABLE TO PROVIDE GENERATOR POWER TO THE SCHOOL WITHIN 10-SECONDS AFTER A UTILITY POWER OUTAGE.

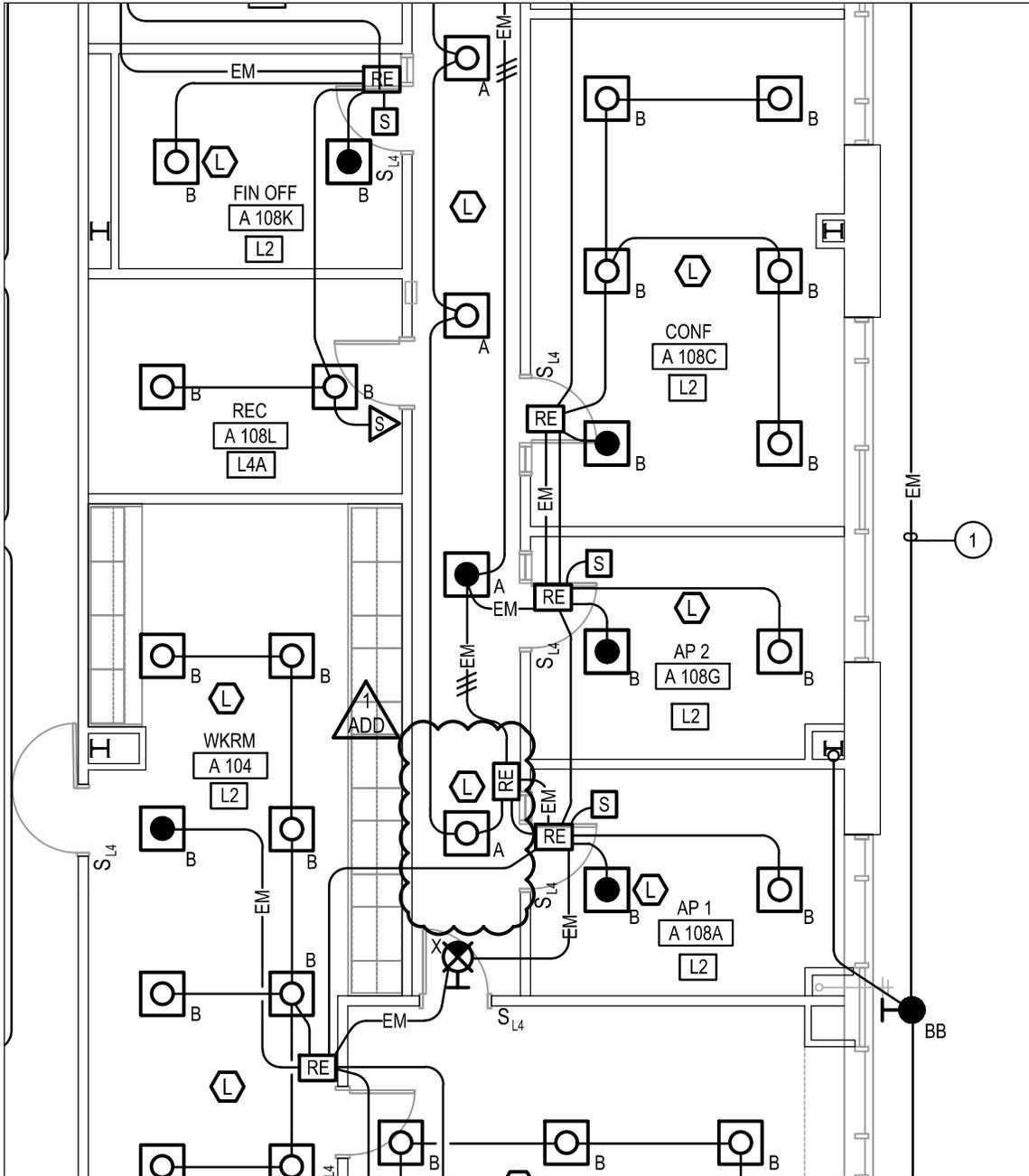
MECHANICALLY FASTEN SIGN TO FRONT OF GENERATOR DOCKING STATION



DETAIL

PLACARD AT GENERATOR DOCKING STATION

NOT TO SCALE

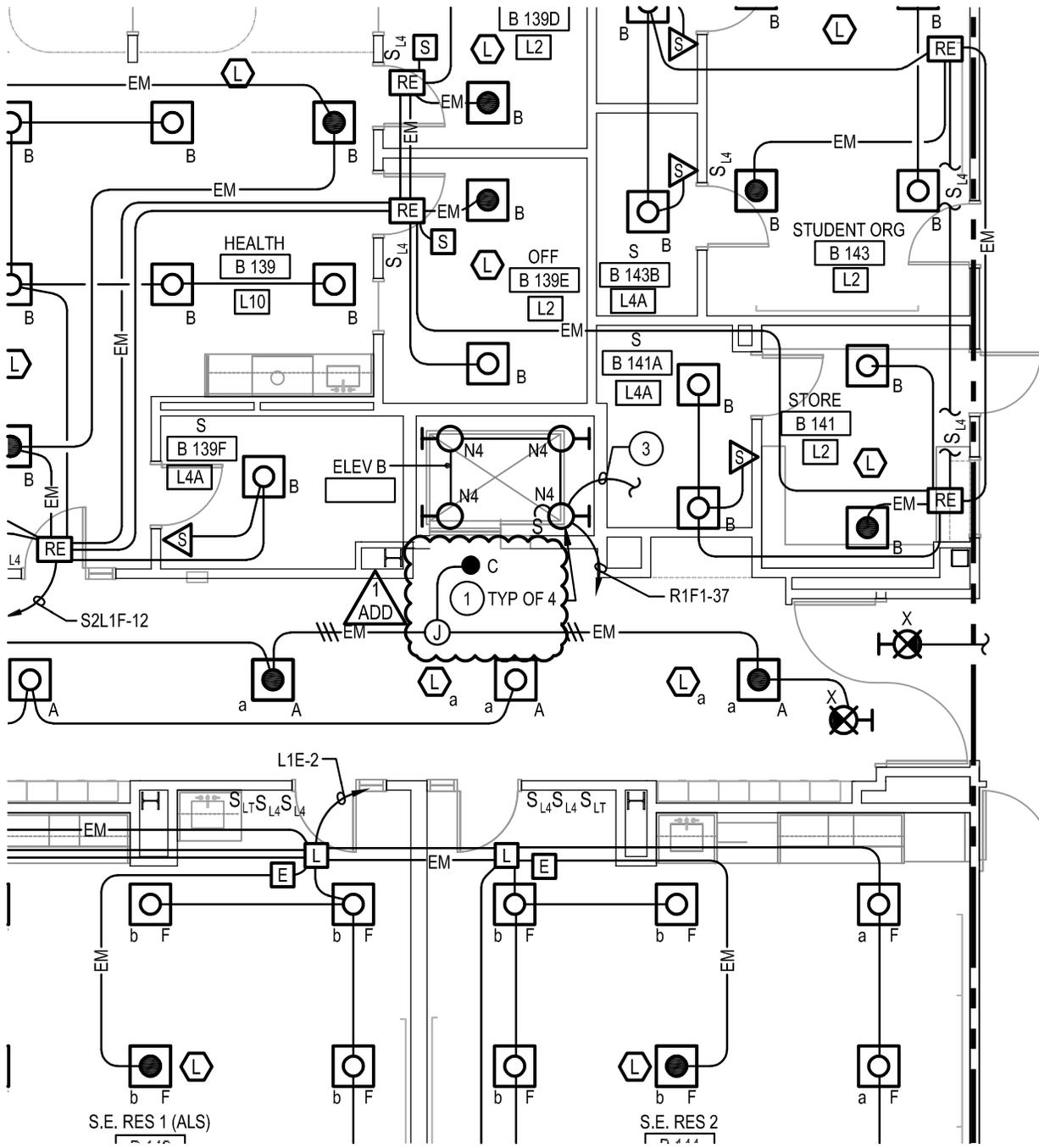


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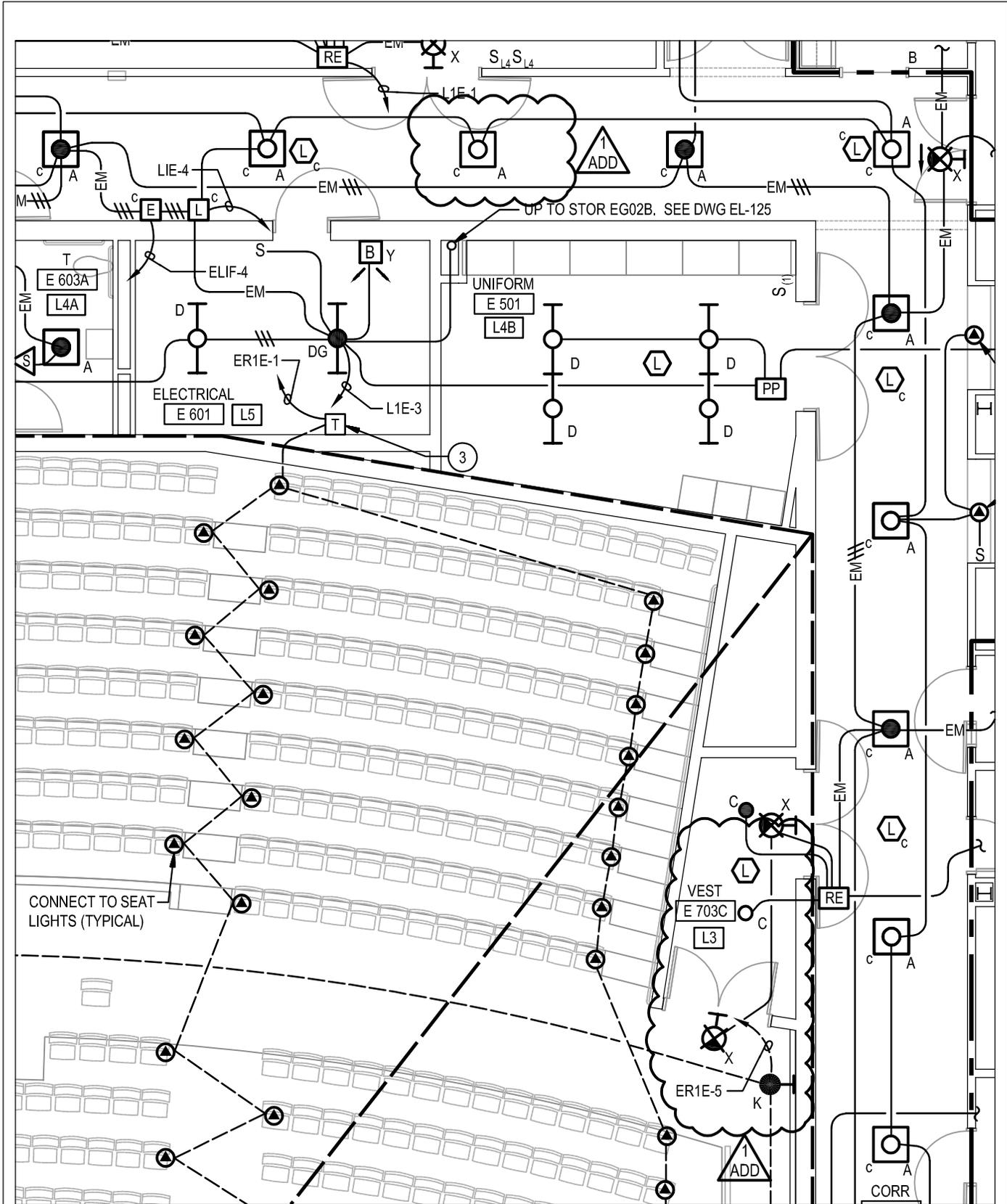


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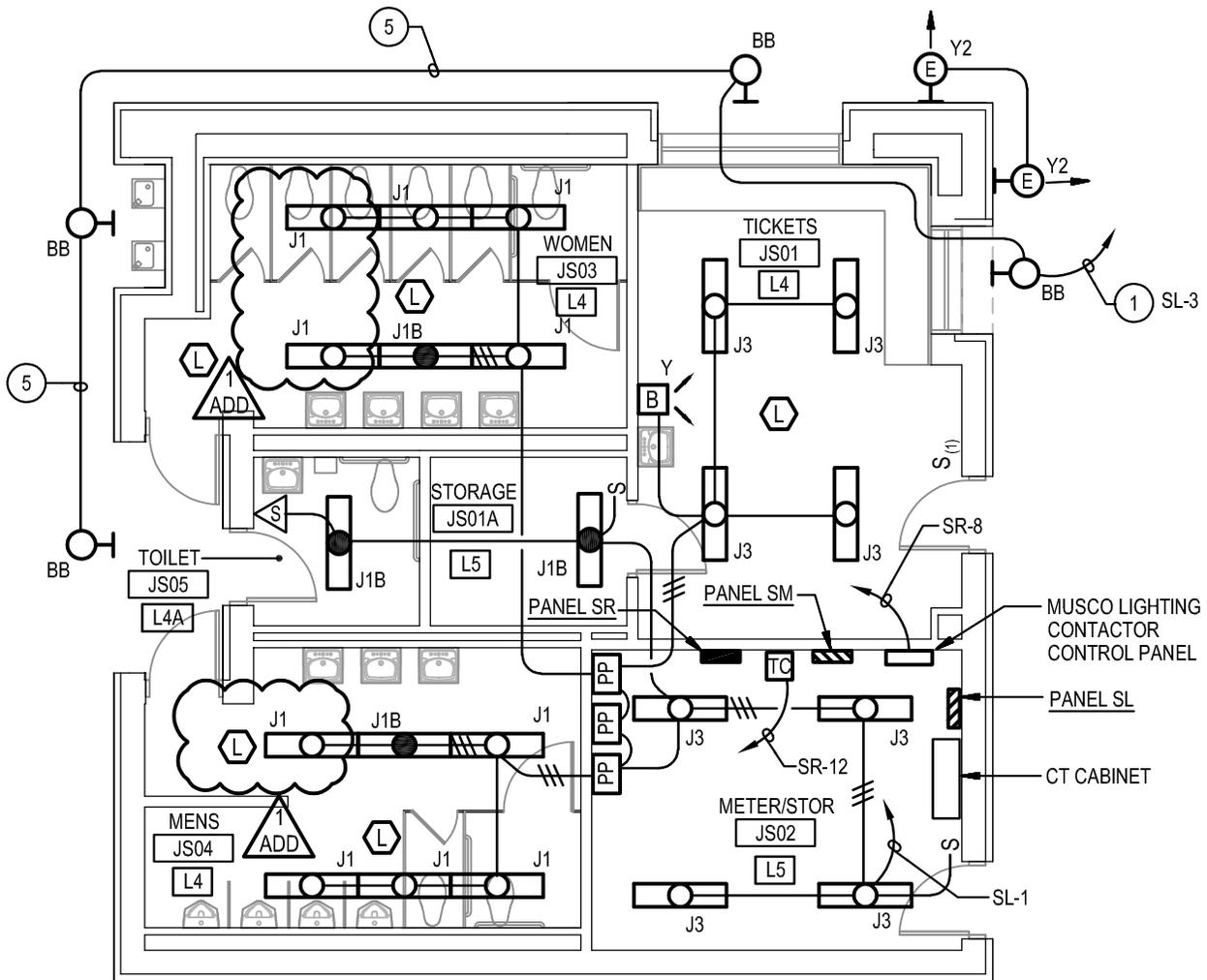


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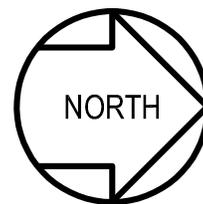
date
 21 JAN 20

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STADIUM BUILDING - LIGHTING

SCALE: 1/8"=1'-0"



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Oak Contracting, LLC
High School #13 Addendum No. 1
Attachment A, January 22, 2020

This Attachment A portion of the addendum includes changes and clarifications to the Contract Documents as follows:

Item:

Changes to Specifications	4 pages
Scope Clarification Details	13 pages
Current Pre-bid RFI log	1 page
Pre-Bid RFIs/Responses: PB-001, PB-002, PB-003 PB-004, PB-005	10 pages
Prebid meeting minutes and sign in sheet	17 pages

Changes to Specifications

00 2400 Cross-reference

00 2400 – Contract Package 4A:

1. Add Specification Section 03 2000 Concrete Reinforcement

00 2400 – Contract Package 6A:

1. Change Specification Section 10 5100 to 10 5113

00 2400 – Contract Package 8A:

1. Add Specification Section 07 2100 Thermal Insulation

00 2400 – Contract Package 9A:

1. Change the title of Specification Section 07 8100 “Applied Fireproofing” to “Spray Fire Resistive Material”

00 2400 – Contract Package 15A:

1. Delete Specification Section 23 6420 Chiller Sound Attenuation System
2. Change the title to Specification section 23 3713 “Diffusers, Registers, and Grilles” to “Diffusers and Grilles”

00 2400 – Contract Package 16A:

1. Delete Specification Section 07 6200 Flashing and Sheet Metal

2. Change the title of Specification section 27 1000 "Structured Cabling for Telecommunications" to "Structured Cabling"
3. Change the title of Specification section 27 4116 "Integrated Visual Systems" to "Integrated Audio-Visual Systems"
4. Change the title of Specification section 27 5000 "Intercom, Clock, and A/V Systems" to "Intercom & Clocks"

01 1113 Contract Packages

01 1113 – Contract Package 2A:

1. Item 2.3: Insert the following sentence after the 1st sentence. "This includes the maintenance and inspection of the existing sediment ponds shown on drawing C-17"
2. Add the following to item 2.39: The 16A Contractor will provide all temporary concrete pads required for temporary electric equipment.
3. Delete item 2.74
4. Delete item 2.76
5. Item 2.80: Insert the word "joint" between the words "and" and "sealants" in the first sentence
6. Add the following to item 2.80: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor

01 1113 – Contract Package 3A:

1. Delete item 2.38
2. Item 2.41 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
3. Item 2.41: Delete the words "attic rafter vents" from the last sentence
4. Add the following item 2.42:
2.42 6A Contractor will furnish and install all firestopping and joint sealants as required by the Contract Documents except as follows:
 1. Joints requiring acoustical sealant will be provided by the 9A Contractor
 2. Caulking/sealants required at masonry by masonry joints will be provided by the 4A Contractor.
 3. Joints at Plumbing Fixtures and all other sealants and firestopping required in Divisions 21,22, and 23 will be provided by the 15A Contractor
 4. Site concrete caulking/sealants will be provided by the 2A Contractor
 5. Joints at aluminum/fire rated curtain walls, storefront, and windows will be provided by the 8A Contractor
 6. Caulking at Hollow Metal Frames will be provided by the 9E Contractor
 7. Sealants integral to the roofing, metal wall panel, metal soffit, skylight, and translucent fiberglass panels systems, and as specified in section 07 6200 Flashing & Sheet Metal will be provided by the 7A Contractor
 8. Caulking/sealants required in specification section 11 3100 Kitchen Equipment will be provided by the 11A Contractor
 9. Firestopping and Sealants specified in divisions 26, 27 and 28 will be provided by the 16A Contractor
 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor

01 1113 – Contract Package 4A:

1. Delete item 2.31
2. Item 2.36: Insert the word "joint" to the first sentence in item 2.36 between the words "and" and "sealants" in the first sentence.

3. Add the following to item 2.36: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
4. Item 2.37: Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
5. Item 2.37: Delete the words "attic rafter vents" from the last sentence
6. Add the following item 2.38: 2.38 The 6A, 7A, 8A, 15A, and 16A, Contractors will furnish and install the Insulating Foam Sealant specified in Section 07 2700 at their respective installations.

01 1113 – Contract Package 5A:

1. Delete item 2.32

01 1113 – Contract Package 6A:

1. Item 2.35 A.: Reduce quantity of 20 cu yd dumpsters in item to Two hundred (200)
2. Item 2.35 B.: Reduce quantity of 30 cu yd dumpsters to Four Hundred (400)
3. Item 2.51: Insert the word "joint" between the words "and" and "sealants" in the first sentence
4. Add the following to item 2.51: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
5. Item 2.52 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
6. Item 2.52: Delete the words "attic rafter vents" from the last sentence
7. Add the following item 2.53: 2.52 The 6A, 7A, 8A, 15A, and 16A, Contractors shall furnish and install the Insulating Foam Sealant specified in Section 07 2700 at their respective installations.

01 1113 – Contract Package 7A:

1. Item 2.14: Delete the words "attic rafter vents" from the 1st sentence
2. Delete item 2.22
3. Item 2.28 Insert the word "joint" between the words "and" and "sealants" in the first sentence
4. Add the following to item 2.28: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
5. Item 2.29 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
6. Item 2.29: Delete the words "attic rafter vents" from the last sentence
7. Add the following item 2.30: 2.30 The 6A, 7A, 8A, 15A, and 16A, Contractors shall furnish and install the Insulating Foam Sealant specified in Section 07 2700 at their respective installations.

01 1113 – Contract Package 8A:

1. Delete item 2.20
2. Item 2.24: Insert the word "joint" between the words "and" and "sealants" in the first sentence.
3. Add the following to item 2.24: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
4. Item 2.25 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
5. Item 2.25: Delete the words "attic rafter vents" from the last sentence
6. Add the following item 2.26: 2.26 The 6A, 7A, 8A, 15A, and 16A Contractors shall furnish and install the Insulating Foam Sealant specified in Section 07 2700 at their respective installations.

01 1113 – Contract Package 9A:

1. Add the following to item 2.1: The Contractor shall furnish and install all attic rafter vents
2. Delete item 2.19
3. Item 2.24: Insert the word "joint" between the words "and" and "sealants" in the first sentence.
4. Add the following to item 2.24: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
5. Item 2.25 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
6. Item 2.25: Delete the words "attic rafter vents" from the last sentence

01 1113 – Contract Package 9B:

1. Delete item 2.18

01 1113 – Contract Package 11A:

1. Item 2.14 Insert the word "joint" between the words "and" and "sealants" in the first sentence.
2. Add the following to item 2.14: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor

01 1113 – Contract Package 15A:

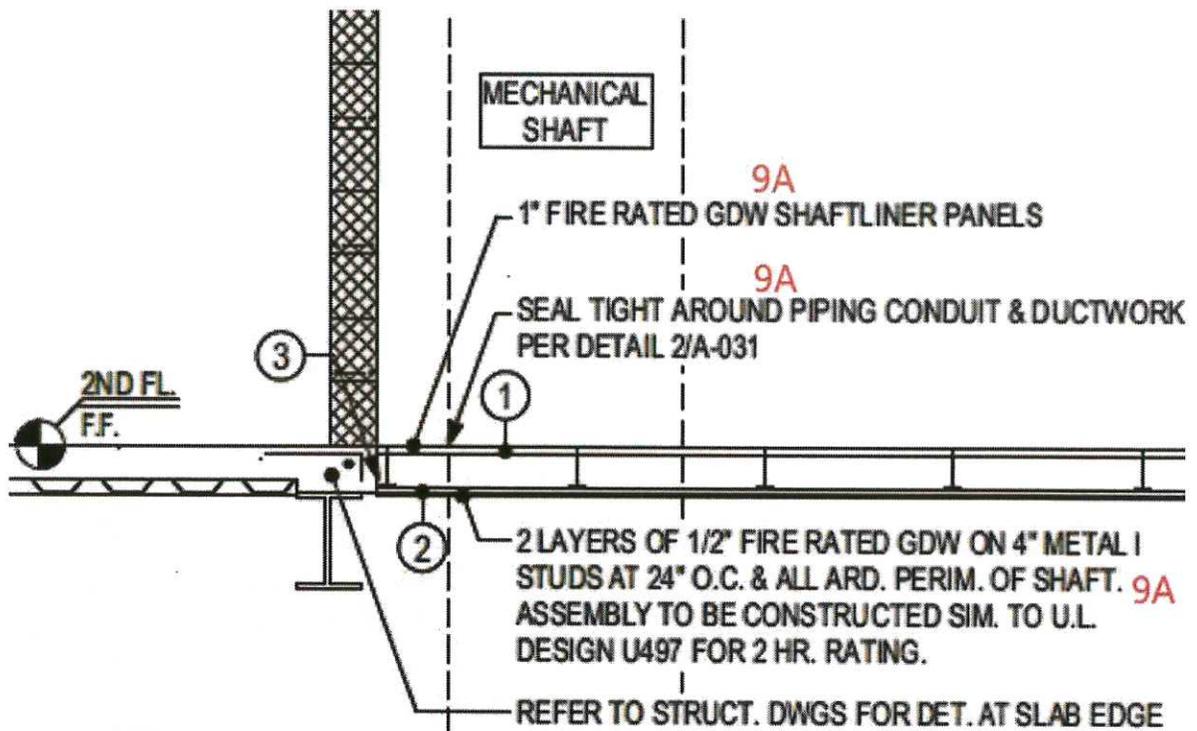
1. Item 2.56 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
2. Item 2.56: Delete the words "attic rafter vents" from the last sentence
3. Add the following item 2.57: 2.57 The Contractor shall furnish and install the kiln hood
4. Delete item 2.50
5. Item 2.55: Insert the word "joint" between the words "and" and "sealants" in the first sentence.
6. Add the following to item 2.14: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
7. Add the following item 2.58: 2.58 The 6A, 7A, 8A, 15A, and 16A Contractors shall furnish and install the Insulating Foam Sealant specified in Section 07 2700 at their respective installations.

01 1113 – Contract Package 16A:

1. Add the following to item 2.12: The Contractor shall provide and remove all temporary concrete pads required for temporary electric equipment.
2. Item 2.28: Replace the words "two (2)" with "four (4)" in the 3rd and 4th sentences.
3. Delete item 2.38
4. Item 2.43: Insert the word "joint" between the words "and" and "sealants" in the first sentence.
5. Add the following to item 2.43: 10. Joint sealants between interior concrete slab pours and between interior concrete slabs and masonry walls will be provided by the 3A Contractor
6. Item 2.44 Rigid Insulation A.: Delete the words "at door sills and down the face of exterior walls at the stadium and storage building"
7. Item 2.44: Delete the words "attic rafter vents" from the last sentence
8. Add the following item 2.45: 2.45 The 6A, 7A, 8A, 15A, and 16A Contractors shall furnish and install the Insulating Foam Sealant specified in Section 07 2700 at their respective installations.

01 3100 – Progress Schedules:

1. Add the following to Part 1 1.07: C. The Contractor shall not assume a single mobilization for the completion of any portion of the work.



NOTES:

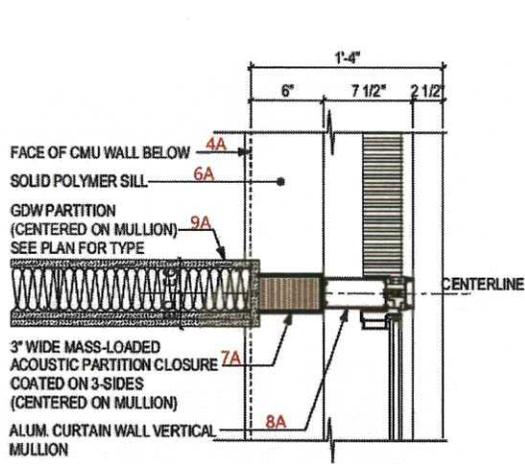
- ① SECURE SHAFTLINER PANELS WITH 1 3/4" SELF TAPPING DRYWALL SCREWS SPACED 8" O.C. AT EDGES AND 12" O.C. IN THE FIELD OF GDW. 9A
- ② SECURE INNER LAYER OF GDW WITH 1 1/4" SELF TAPPING DRYWALL SCREWS AND OUTER LAYER OF GDW WITH 2" SELF TAPPING DRYWALL SCREWS. SPACE SCREWS AT EACH LAYER OF GDW 8" O.C. AT EDGES AND 12" O.C. IN THE FIELD OF GDW. STAGGER JOINTS BETWEEN LAYERS. 9A
- ③ SECURE STUDS TO SLAB EDGE WITH 1 1/2" EXPANSION BOLTS SPACED 16" O.C. MAX. 9A

4
A-033

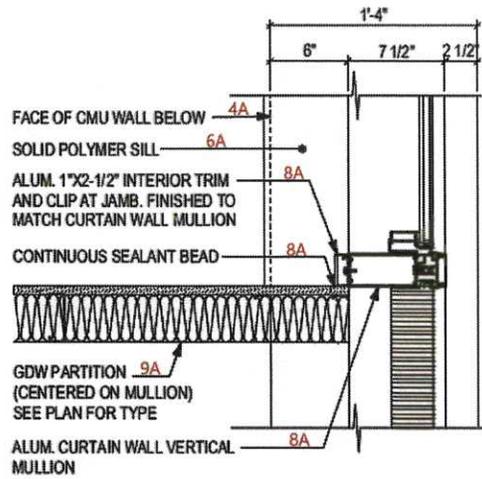
FIRE RATED SHAFT ENCLOSURE

SCALE: 1/2" = 1'-0"

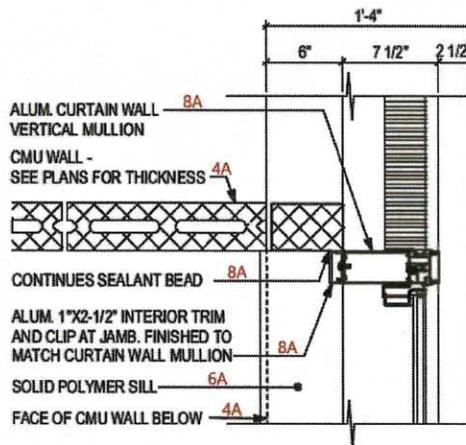
Scope Clarification Detail #01 Typical throughout all details.



1A
PLAN DETAIL AT GDW WALL AND CURTAIN WALL
 A-111A SCALE: 1 1/2" = 1'-0"

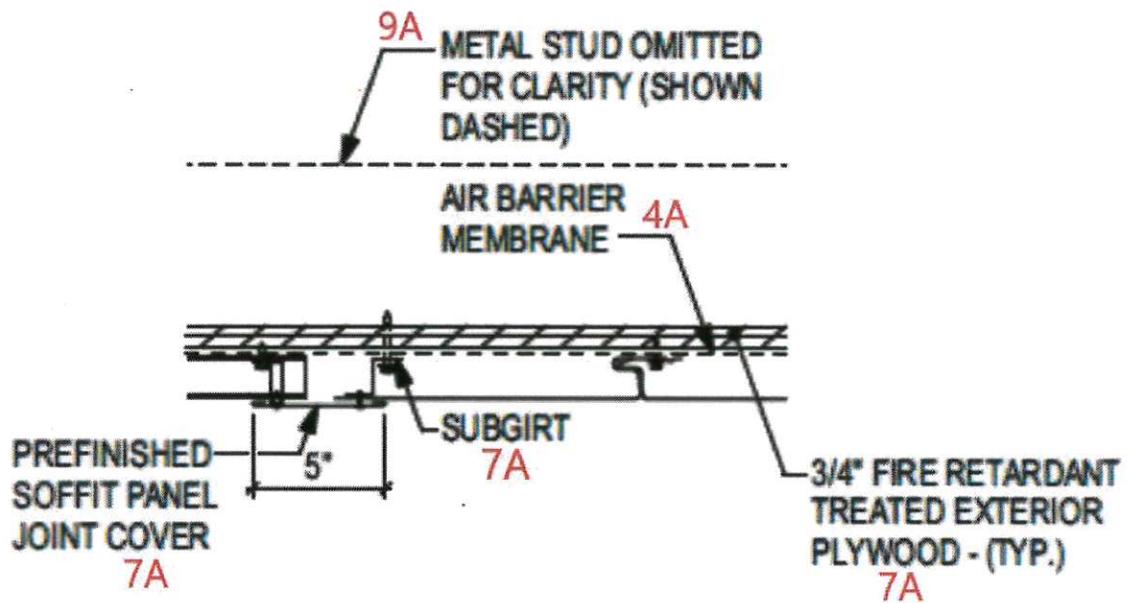


1B
PLAN DETAIL AT GDW WALL AND CURTAIN WALL
 A-111A SCALE: 1 1/2" = 1'-0"



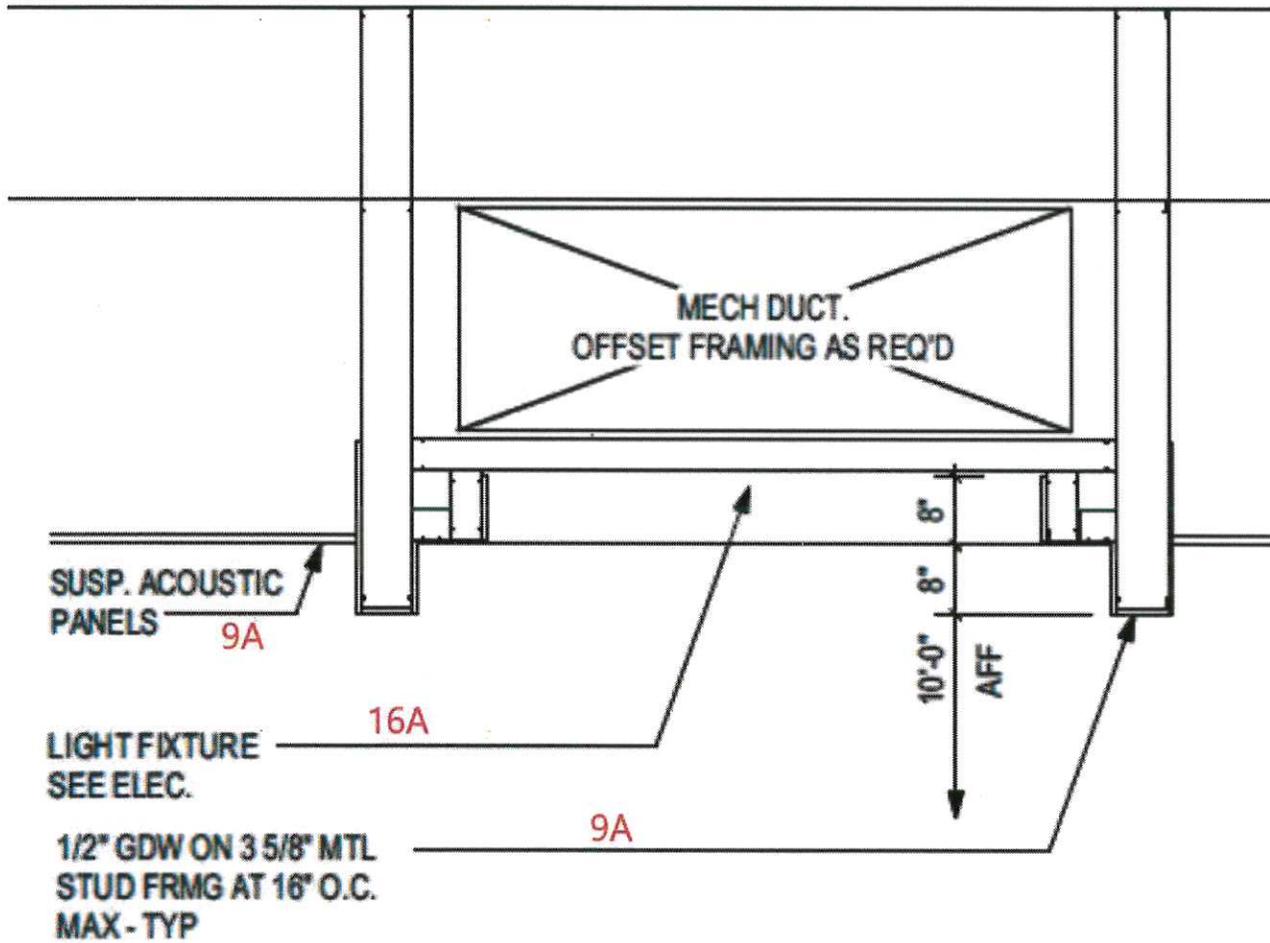
1C
PLAN DETAIL AT CMU WALL AND CURTAIN WALL
 A-111A SCALE: 1 1/2" = 1'-0"

Scope Clarification
 Detail #02
 Typical throughout
 all details.



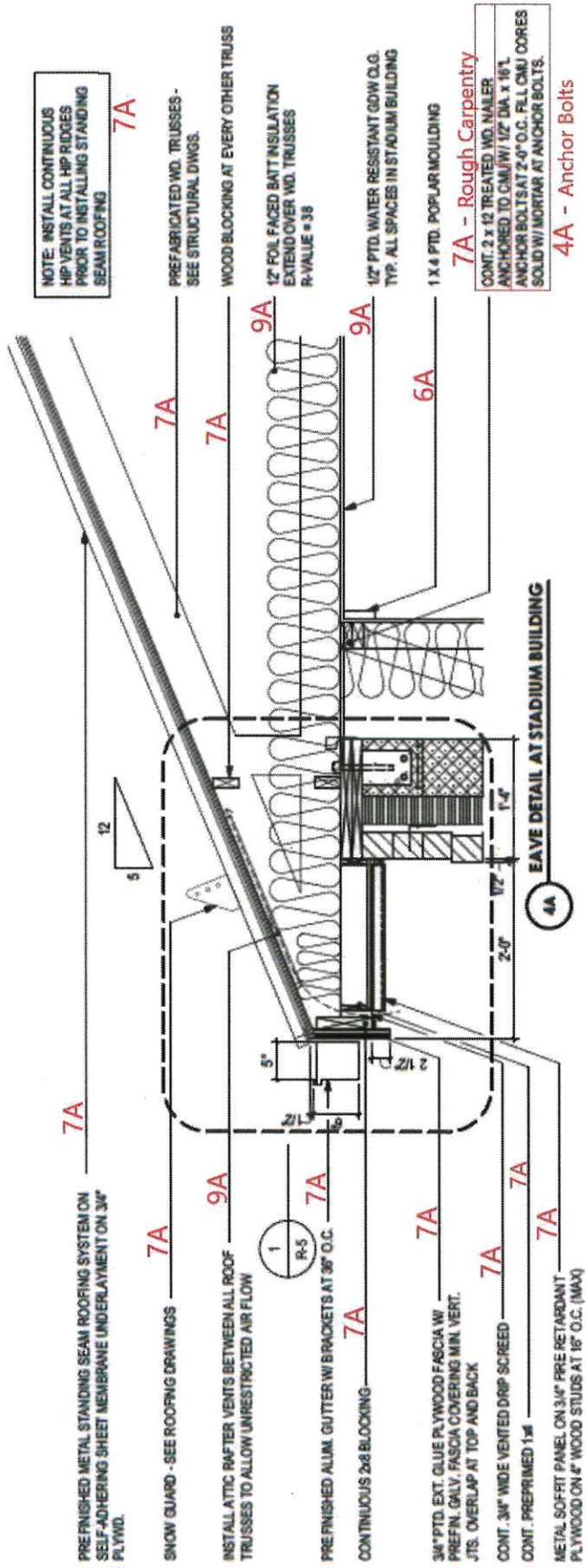
7 **SOFFIT PANEL JOINT**
A-220 **SCALE: 1 1/2" = 1'-0"**

Scope Clarification Detail #03
 Typical throughout all details.



2 **CORRIDOR BULKHEAD DETAIL**
A-314 **SCALE: 1/2" = 1'-0"**

Scope Clarification Detail #04
 Typical throughout all details.



NOTE: INSTALL CONTINUOUS HIP VENTS AT ALL HIP RIDGES PRIOR TO INSTALLING STANDING SEAM ROOFING

7A

PREFABRICATED WD. TRUSSES - SEE STRUCTURAL DWGS.

WOOD BLOCKING AT EVERY OTHER TRUSS

12" FOIL FACED BATT INSULATION EXTEND OVER WD. TRUSSES R-VALUE = 38

1/2" PTD. WATER RESISTANT GOW Q.O. TYP. ALL SPACES IN STADIUM BUILDING

1 X 4 PTD. POPLAR MOULDING

7A - Rough Carpentry
 CONT. 2 X 12 TREATED WD. NAILER ANCHORED TO CMU/W/ 1/2" DIA. X 16'L ANCHOR BOLTS AT 2'-0" O.C. FILL CMU CORES SOLID W/ MORTAR AT ANCHOR BOLTS.

4A - Anchor Bolts

4A EAVE DETAIL AT STADIUM BUILDING

PREFABRICATED WD. TRUSSES - SEE STRUCTURAL DWGS.

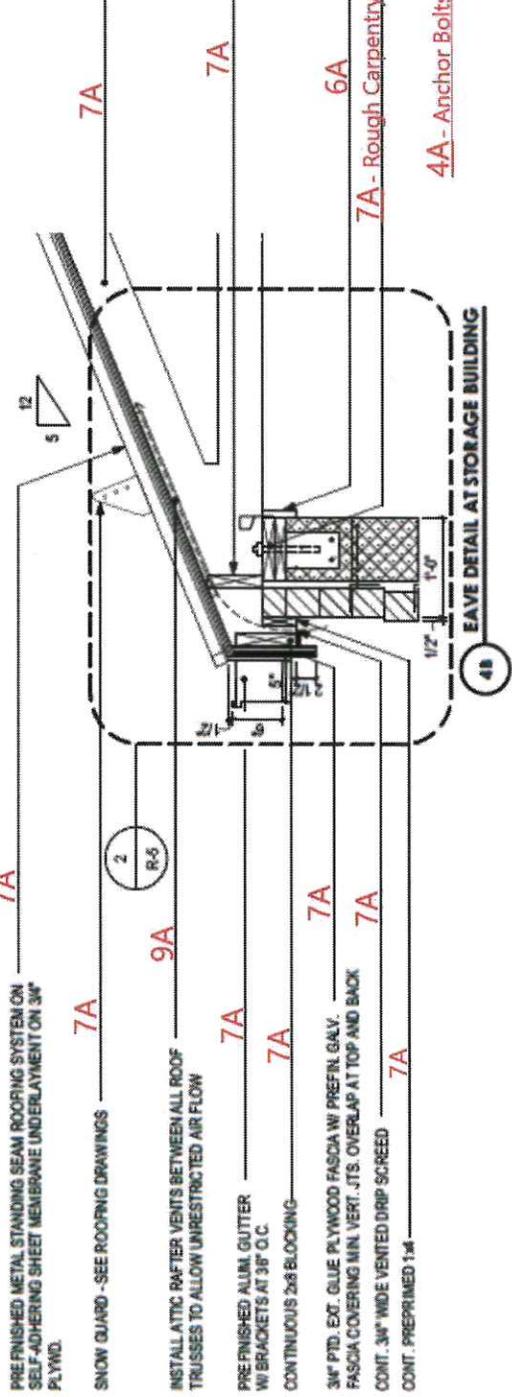
WOOD BLOCKING AT EVERY OTHER TRUSS

1 X 4 PTD. POPLAR MOULDING

7A - Rough Carpentry
 CONT. 2 X 12 TREATED WD. NAILER ANCHORED TO CMU/W/ 1/2" DIA. X 16'L ANCHOR BOLTS AT 2'-0" O.C. FILL CMU CORES SOLID W/ MORTAR AT ANCHOR BOLTS.

4A - Anchor Bolts

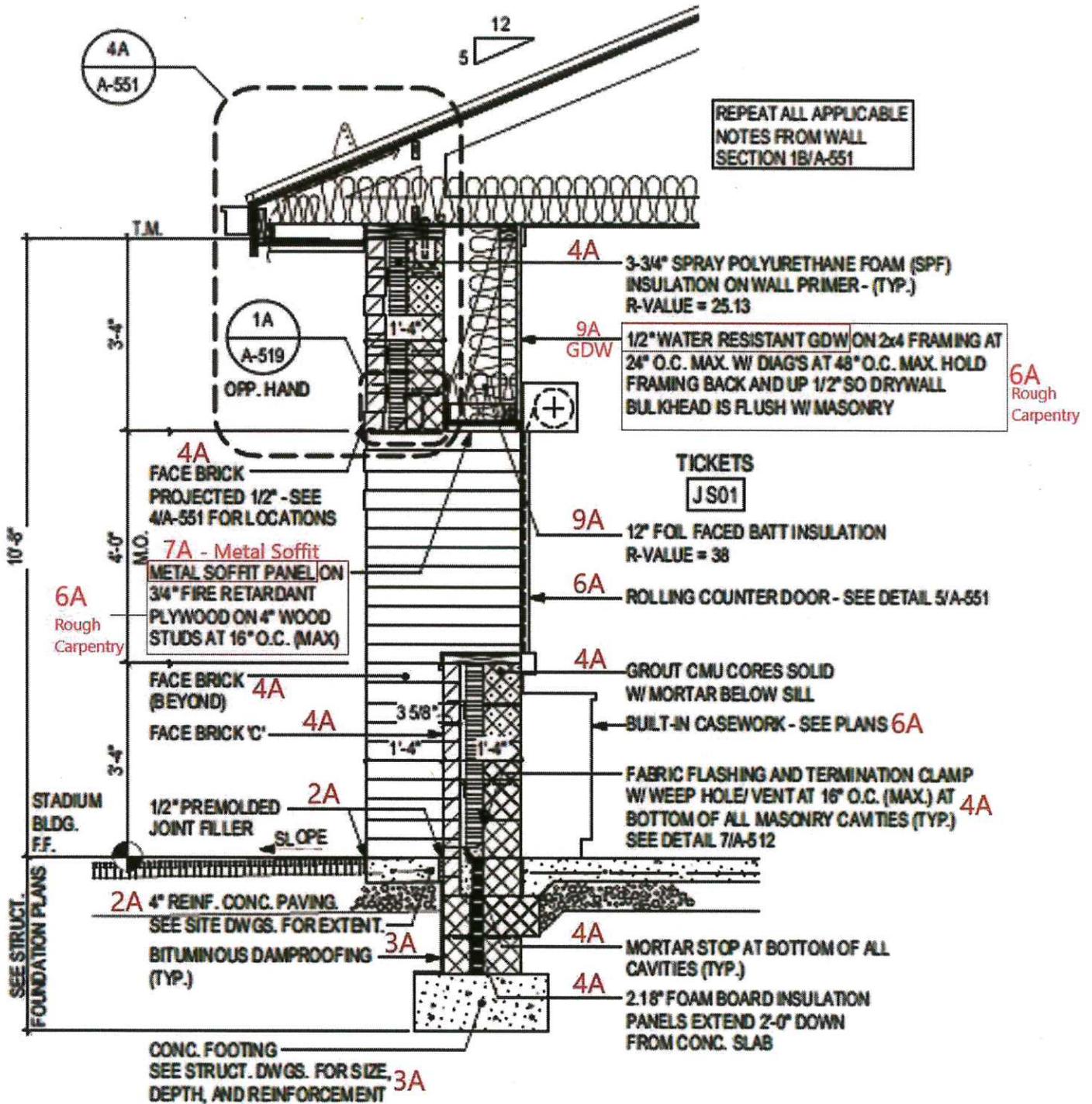
4B EAVE DETAIL AT STORAGE BUILDING



4 EAVE DETAILS
 A-551 SCALE: 1" = 1'-0"

Scope Clarification Detail #05
 Typical throughout all details.

Drawing A-551

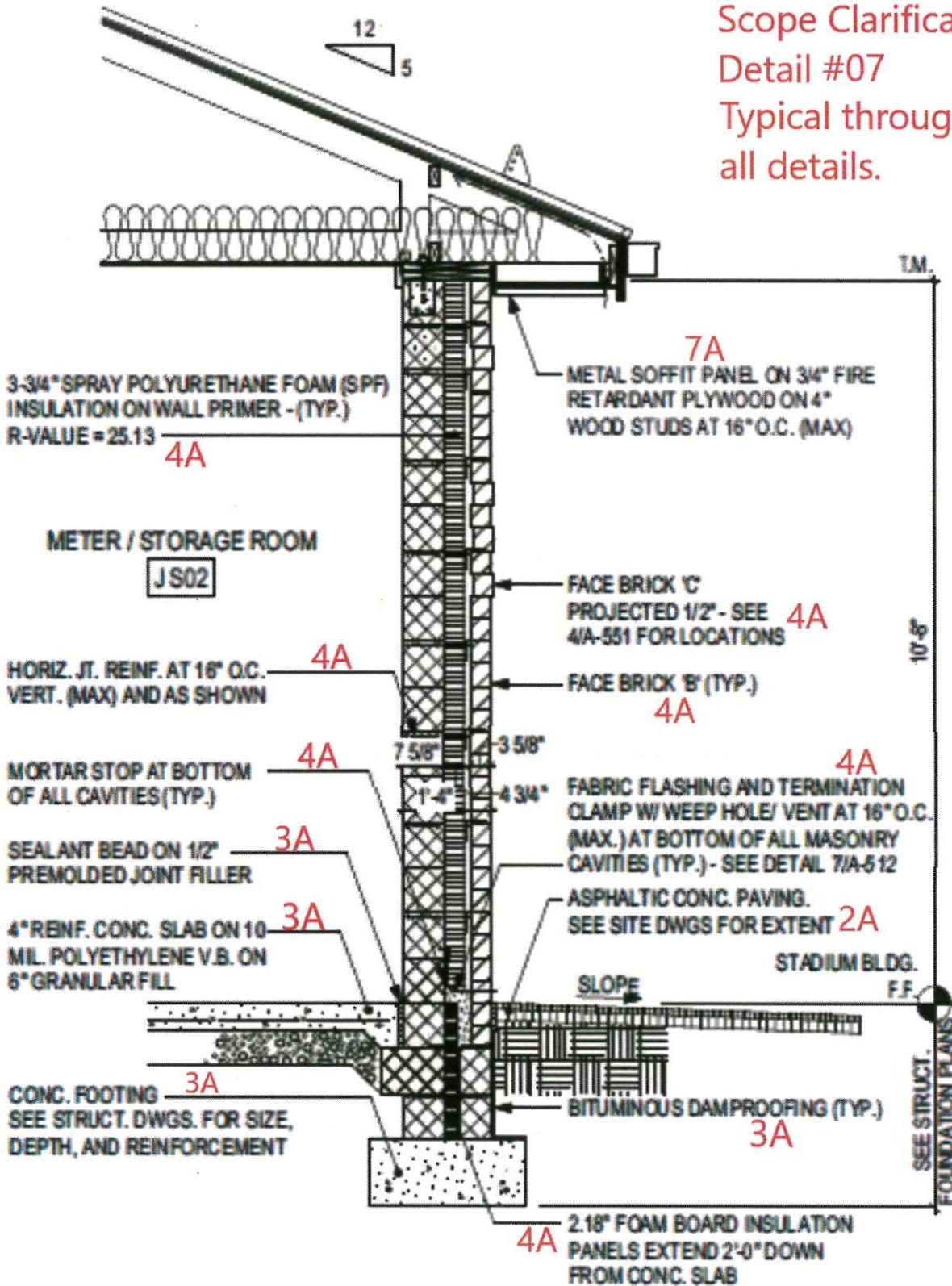


1A WALL SECTION THRU STADIUM BUILDING

Scope Clarification Detail #06
Typical throughout all details.

Per Drawing A-551

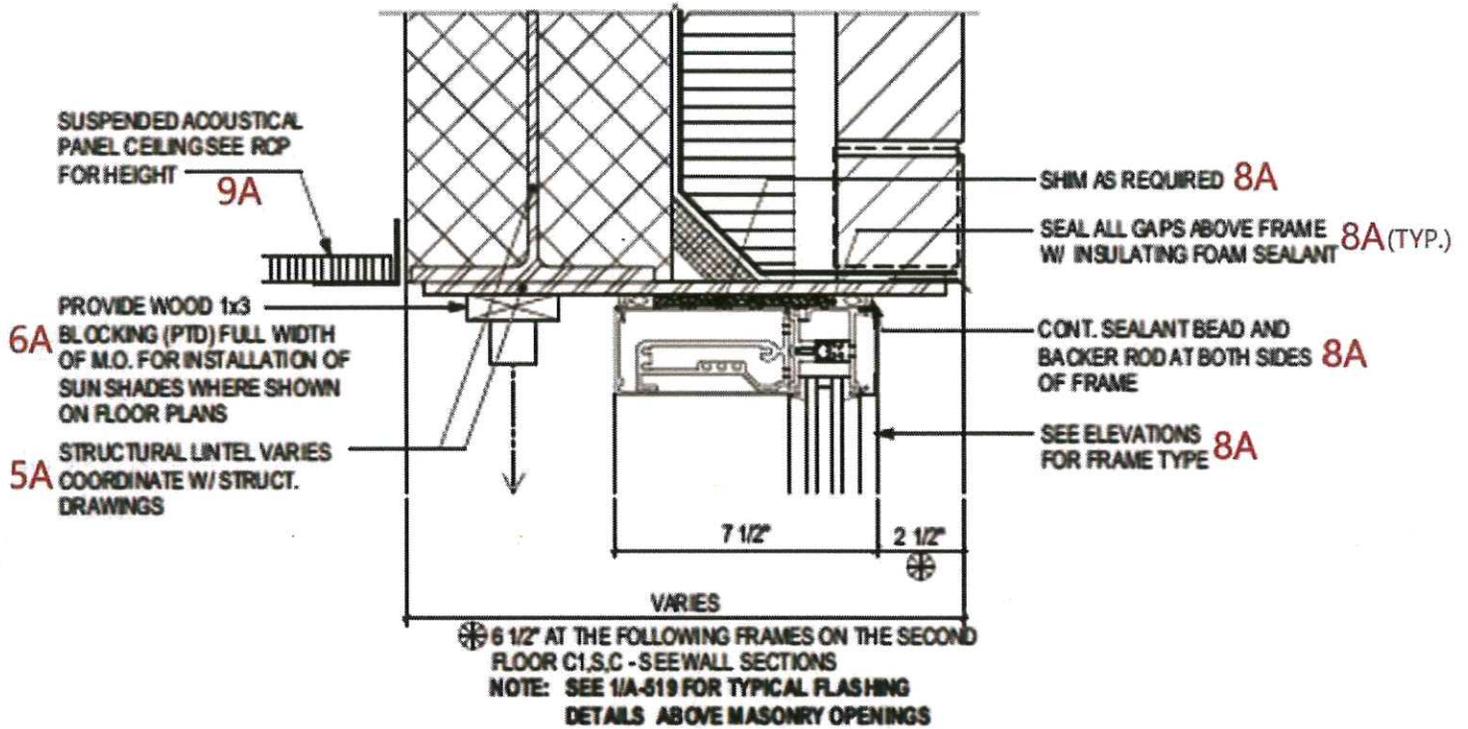
Scope Clarification
Detail #07
Typical throughout
all details.



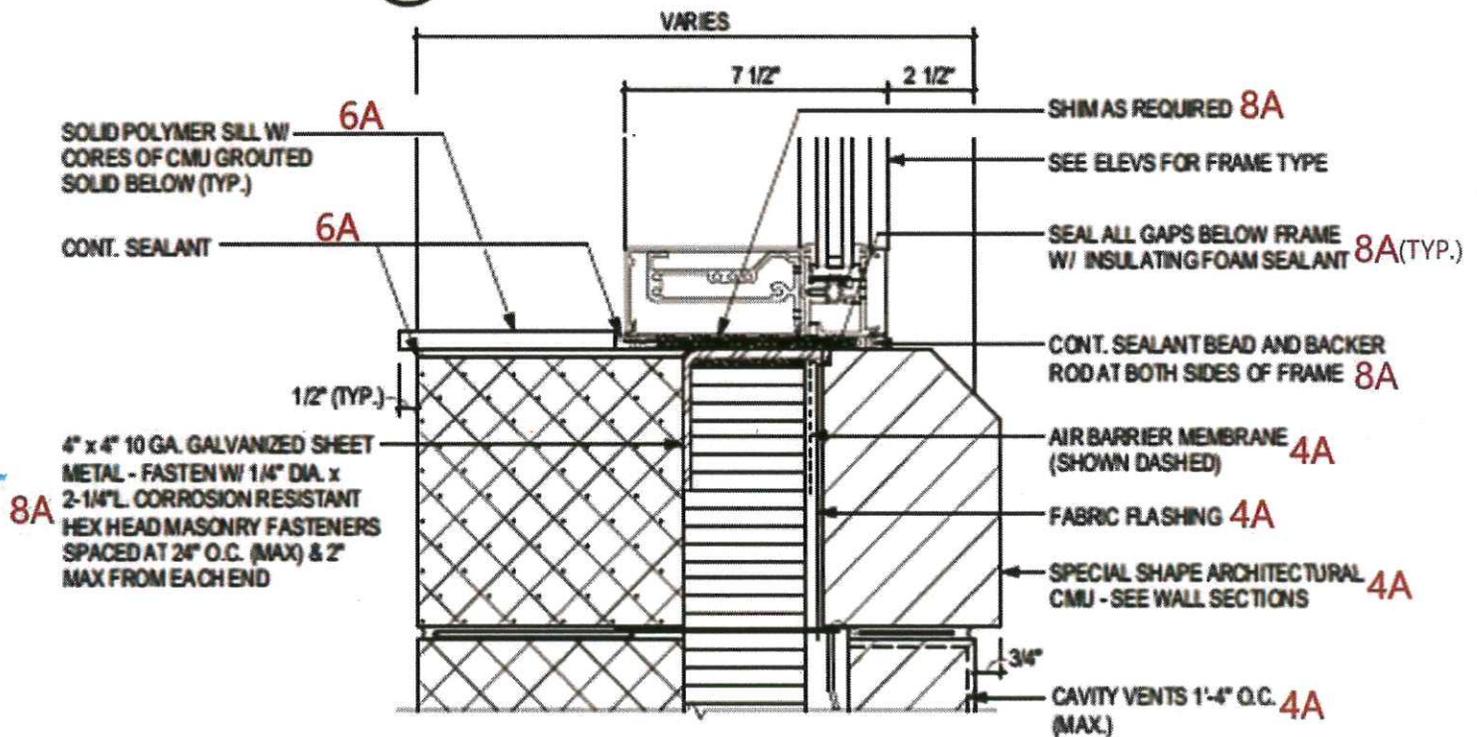
18

WALL SECTION THRU STADIUM BUILDING

Per Drawing A-611



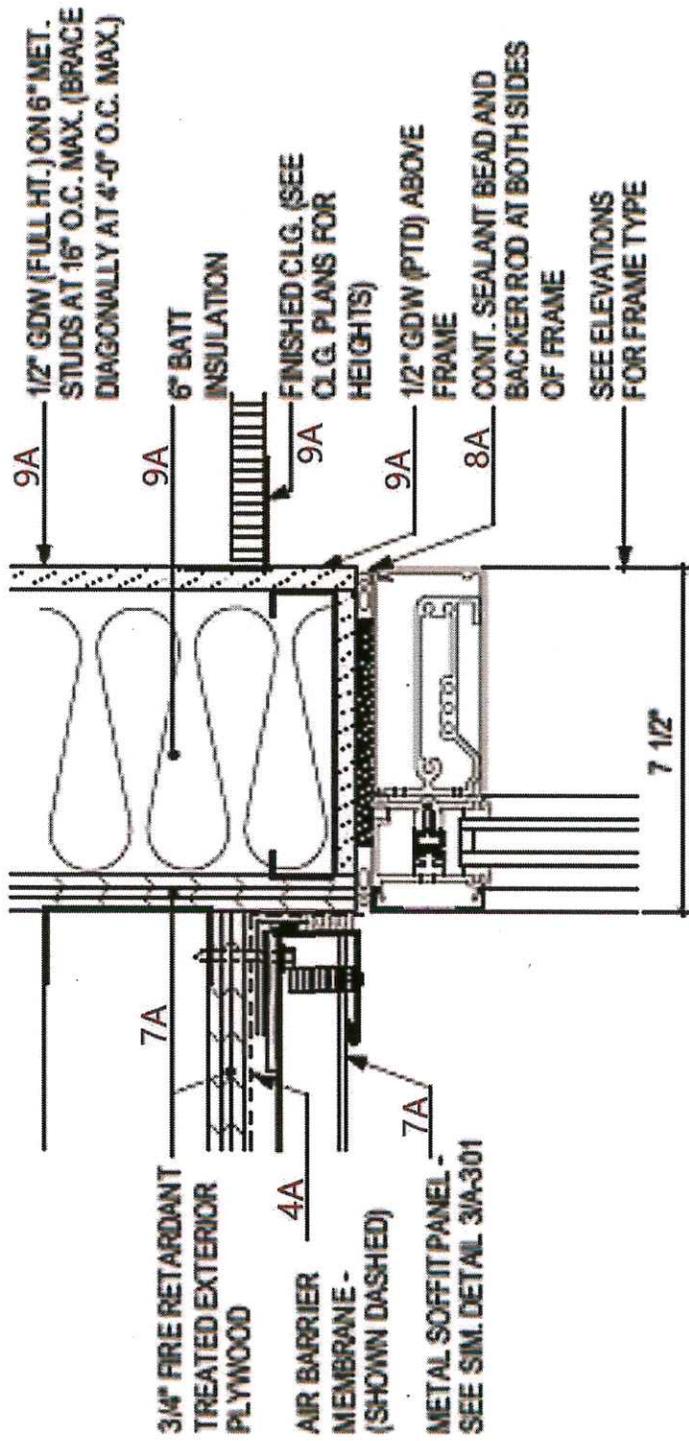
2A TYP. CURTAINWALL MASONRY HEAD DETAIL



2B MASONRY SILL DETAIL W/ PROJECTED CMU

Scope Clarification Detail #08
Typical throughout all details.

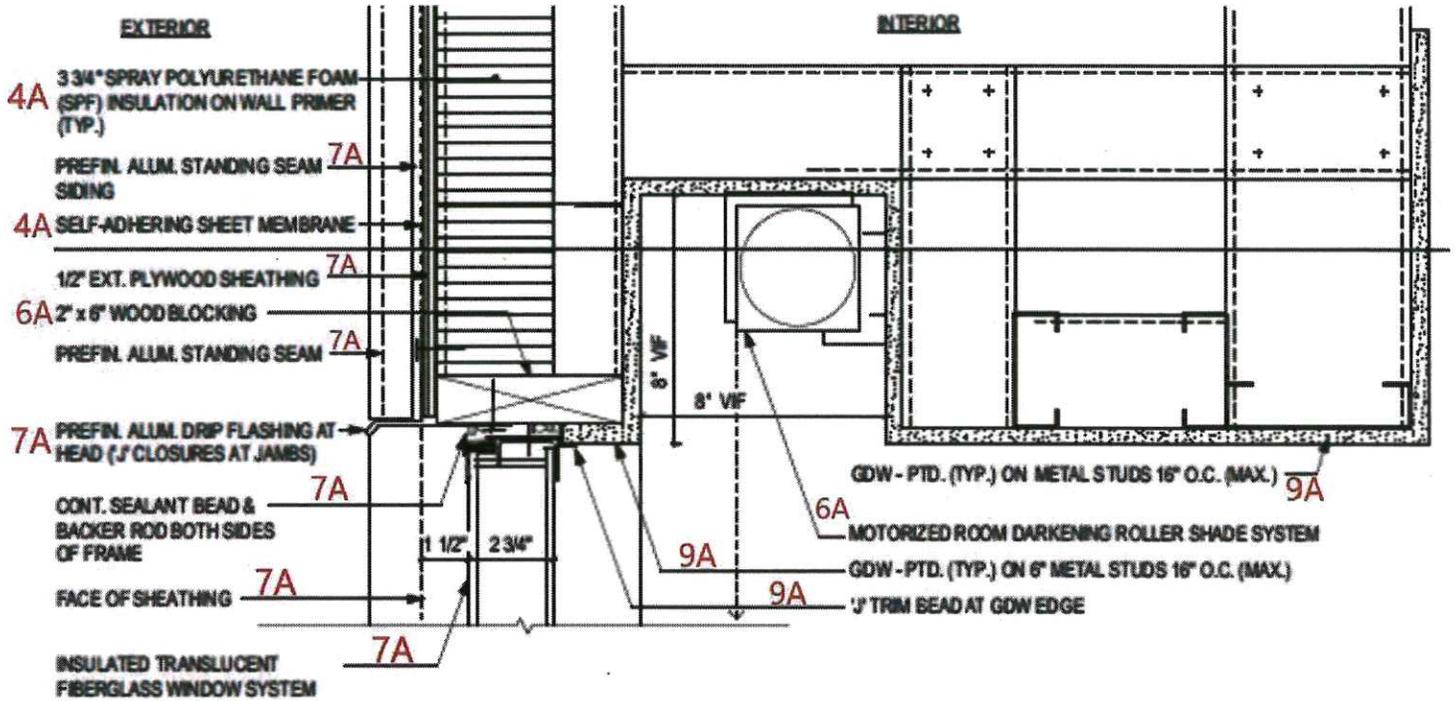
Per Drawing A-611



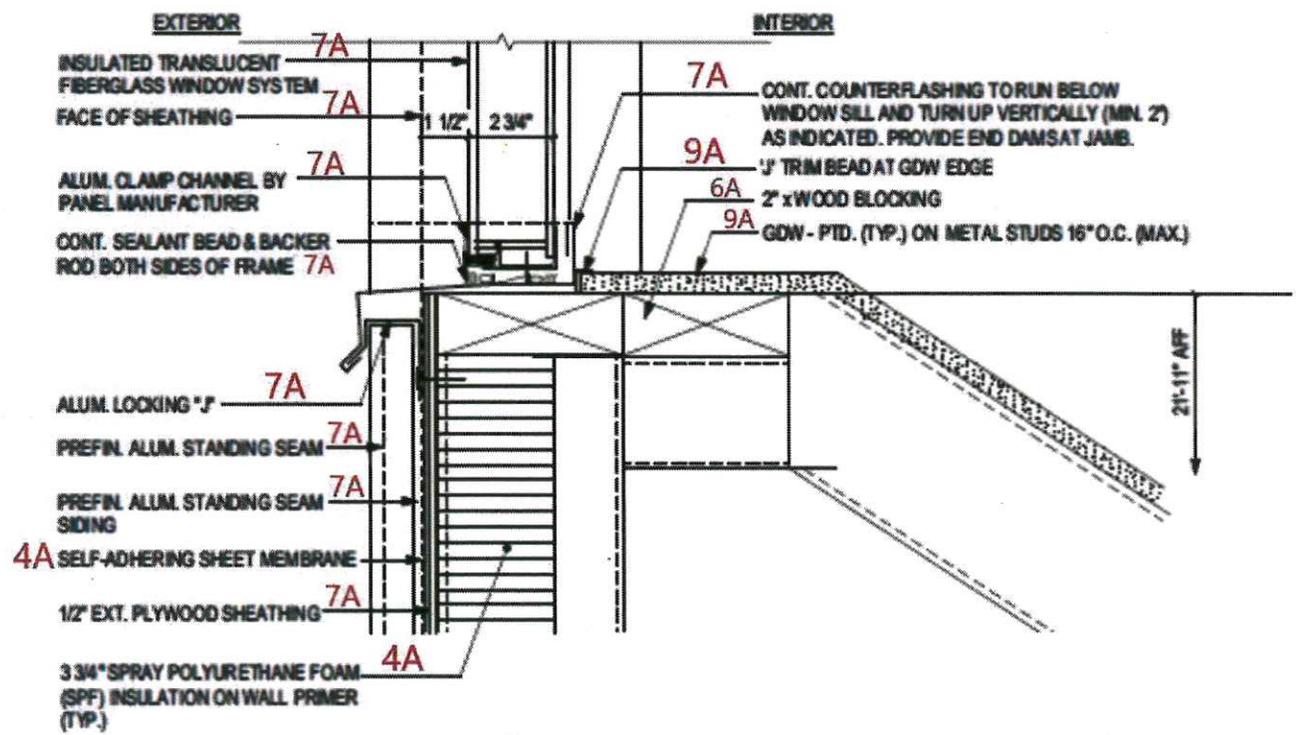
2G HEAD DETAIL

Scope Clarification Detail #09
Typical throughout all details.

Per Drawing A-615

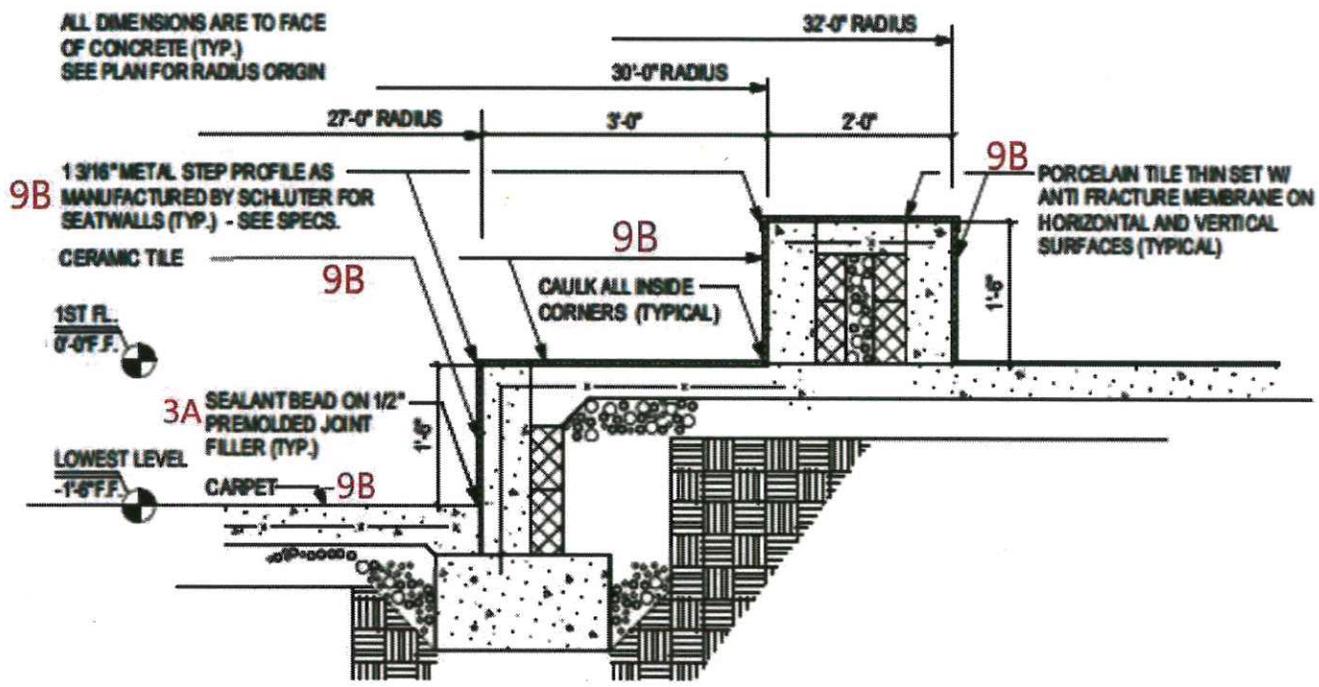


2C HEAD DETAIL AT ALUM. SIDING

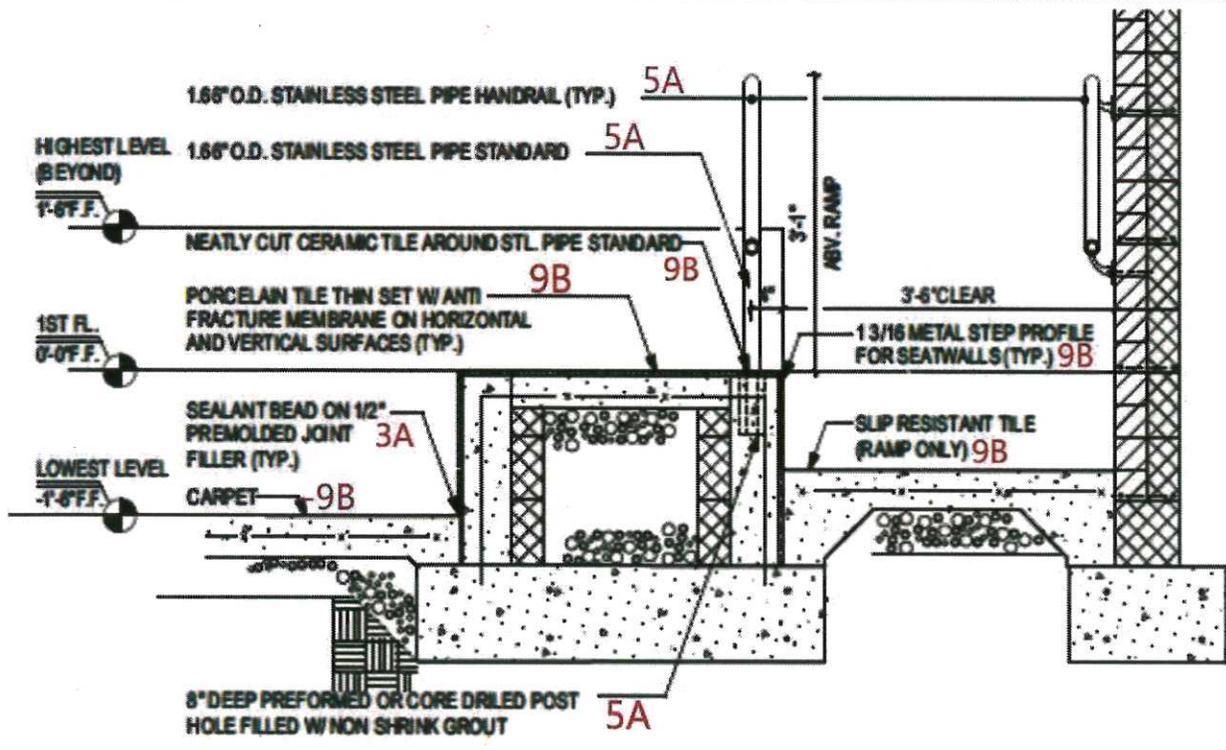


2D SILL DETAIL AT ALUM. SIDING

Scope Clarification Detail #10 Typical throughout all details.



4 SECTION THRU SEATWALL IN COMMONS
 A-700 SCALE: 3/4" = 1'-0"



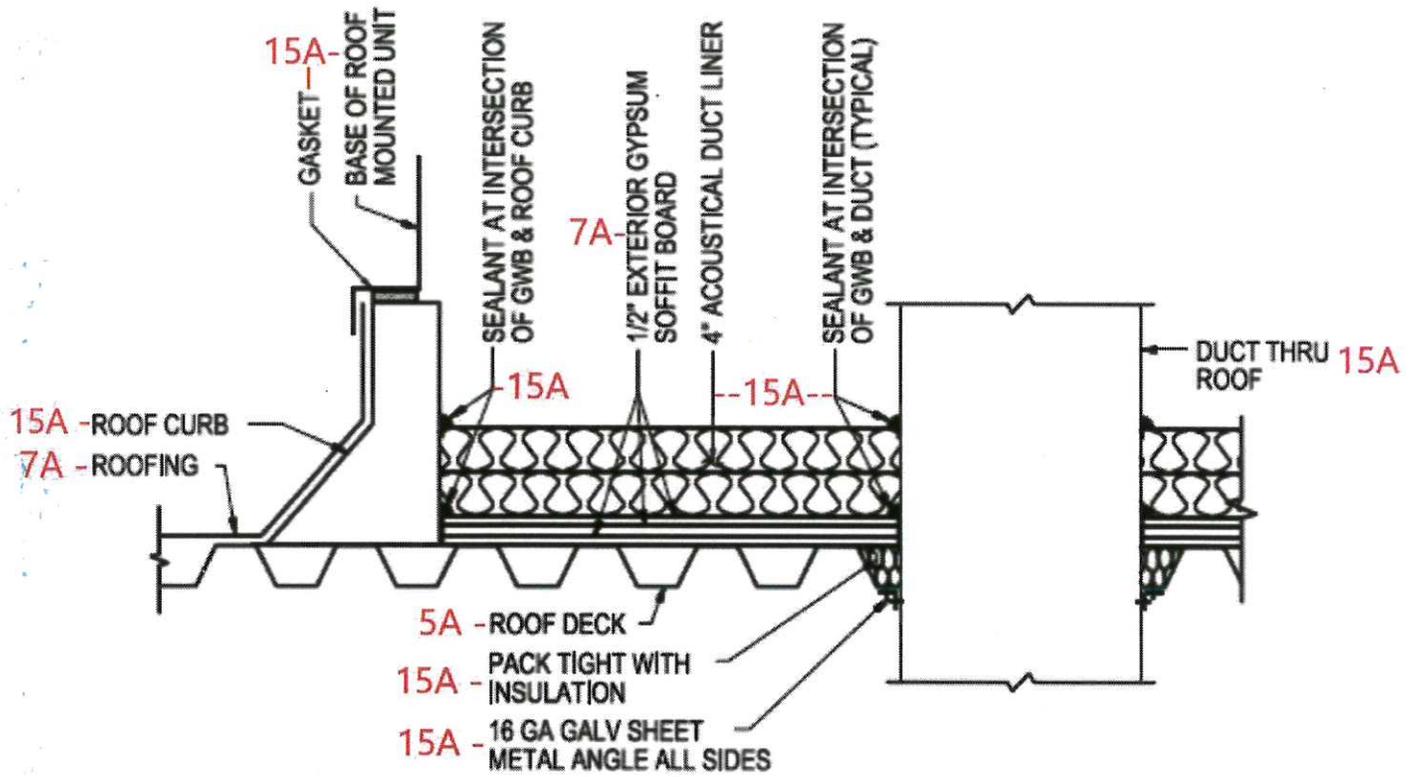
3 SECTION THRU SEATWALL/RAMP IN COMMONS
 A-700 SCALE: 3/4" = 1'-0"

Scope Clarification Detail #11 Typical throughout all details.

Per Drawing K-102

BUILDING CONDITIONS & VENTILATION NOTE:

1. ALL WORK INDICATED ON THIS PLAN AND IN THESE NOTES SHALL BE BY OTHER THAN THE KITCHEN EQUIPMENT CONTRACTOR, UNLESS NOTED BY "K.E.C."
2. WALLS, FLOORS AND CEILINGS IN KITCHEN, PREP, SERVICE, AND DISHWASHING AREAS, OR ANY OTHER LOCATION WHERE FOOD OR BEVERAGES ARE PREPARED, SHALL BE SMOOTH, EASILY-CLEANABLE, NON-ABSORBANT, AND DURABLE. WALLS AND CEILINGS SHALL BE LIGHT COLORED.
3. PARTITION WALLS BETWEEN KITCHEN AREAS AND PUBLIC AREAS SHALL BE CONSTRUCTED FOR MAXIMUM SOUND CONTROL.
4. MINIMUM VENTILATION REQUIREMENTS:
 - A. KITCHEN, SERVICE, PREP AND DISHWASHING AREAS: 4 TO 6 AIR CHANGES PER HOUR.
 - B. STOREROOMS: 2 TO 3 AIR CHANGES PER HOUR.
 - C. OFFICES: 4 AIR CHANGES PER HOUR. (RECOMMEND AIR CONDITIONING).
 - D. REFRIGERATION CONDENSING UNITS: 750 C.F.M. PER H.P., SUPPLY AND EXHAUST.
 - E. OTHER AREAS: AS REQUIRED BY CODES OR AS NOTED.
 - F. VERIFY VENTILATION REQUIREMENTS SHOWN ARE IN COMPLIANCE WITH LOCAL CODES.
5. FINAL DUCT CONNECTIONS SHALL BE BY MECHANICAL CONTRACTOR, OR EQUIVALENT, UNLESS NOTED.
6. FLOOR LOADING CAPACITY SHALL BE A MINIMUM OF 100 LBS. PER SQUARE FOOT OR AS REQUIRED BY LOCAL CODES.
7. GENERAL CONTRACTOR (G.C.), OR EQUIVALENT SHALL:
 - A. PROVIDE IN-WALL REINFORCING OR BACKING, AS REQUIRED, FOR WALL-MOUNTED EQUIPMENT; COORDINATE WITH K.E.C. **4A**
 - B. SLOPE FLOOR TO FLOOR SINKS, FLOOR DRAINS, OR FLOOR TROUGHS. **3A**
 - C. PROVIDE DOOR/WALL OPENINGS AND/OR PASSAGES TO ASSURE ACCESS FOR ALL KITCHEN EQUIPMENT. COORDINATE OPENING REQUIREMENTS WITH K.E.C. **6A/8A**
 - D. PROVIDE WALK-IN COOLER/FREEZER DEPRESSIONS, SMOOTH AND TRANSIT-LEVEL, WHERE DEPRESSIONS ARE REQUIRED. DEPTH AS NOTED. **3A**
 - E. FILL EXCESS DEPRESSIONS AROUND WALK-IN COOLER/FREEZER WITH GROUT, FINISH FLOOR MATERIAL, AND COVERED BASE, AFTER COOLER/FREEZER IS INSTALLED BY K.E.C. **9B**
 - F. PROVIDE SOLID MASONRY CURBS WITH TROWEL-SMOOTH AND LEVEL FINISH. **3A/4A**
 - G. PROVIDE FIRE-RATED MATERIALS AND/OR INSULATION AS REQUIRED FOR EXHAUST DUCTS, VENT STACKS, ROOF/WALL PENETRATIONS, ETC. PER LOCAL CODES. **15A**
 - H. PROVIDE FIRE-RATED PARTITIONS WHERE NOTED AROUND COOKING/HEAT PRODUCING EQUIPMENT PER LOCAL CODES. **4A**
 - I. PROVIDE COVERED-BASE MOLDING OR COVERED INTEGRAL FLOOR MATERIALS AS REQUIRED AT ALL VERTICAL SURFACES OF KITCHEN FLOORS. **9B**
 - J. PROVIDE 1/2" DIAMETER (MINIMUM) HANGER RODS FROM STRUCTURE ABOVE CEILING AS REQUIRED FOR VENTILATORS AND CEILING-MOUNTED EQUIPMENT, WHERE NOTED. **11A/15A**



NOTE: SEE ARCHITECTURAL DRAWINGS FOR TYPICAL ROOF FLASHING DETAILS.

DETAIL 11
M502
ACOUSTICAL TREATMENT BELOW ALL ROOF MOUNTED
DOAS AND AIR HANDLING UNITS
NOT TO SCALE

Scope Clarification Detail #13
Typical throughout all details.



Request For Information PB-001

High School #13
Mission Road

Project # 1705
Tel: Fax:

RFI #: PB-001 **Date Created: 1/13/2020**

Answer Company	Answered By	Author Company	Authored By
TCA Architects 1369 General's Hwy Crownsville, MD 21032	Robyn Toth Phone: 410-266-7722 Fax:	Oak Contracting, LLC 1000 Cromwell Bridge Road Towson, MD 21286	Corey Wixsom Phone: 410-828-1000 Fax:

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Centria question		

Cc: Company Name	Contact Name	Copies	Notes
Oak Contracting, LLC	File	1	

Question **Date Required:**
Please review attached pre-bid RFI PB-001 and provide a response.

Suggestion

Answer **Date Answered: 1/22/2020**
TCA Response: See Addendum No.1

PB-RFI 001

From: [Steve Krell](#)
To: [Matt Lurz](#); [Corey Wixson](#)
Subject: FW: HS13 metal panel rfi question
Date: Monday, January 13, 2020 11:15:29 AM

Thanks,

Steve Krell, CPE



From: Dominic P. Grecki
Sent: Monday, January 13, 2020 10:10 AM
To: Steve Krell <skrell@oakcontracting.com>
Subject: RE: HS13 metal panel rfi question

Good morning Steve,

Can you send an RFI to TCA concerning the following question in Spec section 07 4213?

Section 1.04 A and 1.06 B contradict each other.

Does the project require engineering and shop drawings my manufacturer or can third party firms accomplish the task?

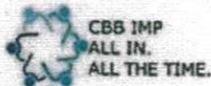
Quality – Accuracy – Complete - Timely

Dominic Grecki, Associate AIA, CSI
District Sales Manager – MD / DE / NWV
T: 410.549.6018 (call / text anytime)
E: dominic.grecki@centria.com



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Bel Air MD 21015
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Link to CENTRIA Architectural Insulated Metal Panel Systems
<https://www.centria.com/products/insulated-metal-panels>



Request For Information PB-002

High School #13
Mission Road

Project # 1705
Tel: Fax:

RFI #: PB-002 **Date Created: 1/17/2020**

Answer Company	Answered By	Author Company	Authored By
TCA Architects 1369 General's Hwy Crownsville, MD 21032	Robyn Toth Phone: 410-266-7722 Fax:	Oak Contracting, LLC 1000 Cromwell Bridge Road Towson, MD 21286	Corey Wixsom Phone: 410-828-1000 Fax:

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Autumn Contracting question		

Cc:	Company Name	Contact Name	Copies	Notes
	Oak Contracting, LLC	File	1	

Question **Date Required:**
Please review attached Pre-Bid RFI #PB-002 and provide a response.

Suggestion

Answer **Date Answered: 1/22/2020**
TCA Response: See Addendum No.1.

Pre-Bid RFI #PB-002

From: [Steve Krell](#)
To: [Matt Lurz](#); [Corey Wixsom](#); [Ed Lurz](#)
Subject: FW: HCPSS - # 13 High School Section 086000 Skylights
Date: Friday, January 17, 2020 10:26:17 AM

RFI

Thanks,

Steve Krell, CPE



From: Kevin Chrisey
Sent: Friday, January 17, 2020 10:24 AM
To: Steve Krell <skrell@oakcontracting.com>
Subject: HCPSS - # 13 High School Section 086000 Skylights

Hi Mr. Krell,

I am from Autumn Contracting and had a question regarding the Skyvault solar collector Model M74 DS O that has been selected for the project. After speaking with the manufacturer they have informed me that the specifications desired cannot be fulfilled with that model, and have recommended another model that can satisfy those requirements. They recommended the 21" 750 DS-C model. Please let me know if you approve of this replacement.

Thank you and have a good day.

Kevin Chrisey

Autumn Contracting, Inc.

5425 Port Royal Road

Springfield, VA 22151

Mobile: 518-928-8954

Email: kevin@autumnci.com

Web: www.autumnci.com



Request For Information PB-003

High School #13
Mission Road

Project # 1705
Tel: Fax:

RFI #: PB-003 **Date Created: 1/17/2020**

Answer Company	Answered By	Author Company	Authored By
TCA Architects 1369 General's Hwy Crownsville, MD 21032	Robyn Toth Phone: 410-266-7722 Fax:	Oak Contracting, LLC 1000 Cromwell Bridge Road Towson, MD 21286	Corey Wixsom Phone: 410-828-1000 Fax:

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Grounded Electrical Question		

Cc: Company Name	Contact Name	Copies	Notes
Oak Contracting, LLC	File	1	

Question **Date Required:**
Please review attached Pre-Bid RFI #PB-003 and provide a response.

Suggestion

Answer **Date Answered: 1/22/2020**

TCA/JPA Responses

1. Fixture is type A. See sketch ADD_1_E6.
2. Revise down light fixture designation at elevator Lobby to type C. see sketch ADD_1_E7.
3. Fixture is type A. See sketch ADD_1_E8.
4. Fixture is type K. See sketch ADD_1_E8.
5. Fixture should be type D.
6. Fixture should be type A.
7. Fixtures should be type J1. See sketch ADD_1_E9.
8. Fee for ALL drawings will be \$150 per sheet.

GROUND  **ELECTRICAL**
CONSTRUCTION

REQUEST FOR INFORMATION

Project: High School #13 Attention: Oak Construction RFI #: X
Subject: General/Electrical Date: 1/17/2020 Reply By: ASAP

REQUEST

1. Light fixture located in the corridor by room A108A on drawings EL-111 is not labeled.
2. Lighting fixture located in the corridor south of the elevators is labeled as type A on drawing EL-112. This does not match the lighting fixture schedule description on drawing EL-242.
3. Light fixture located in the corridor E060, north of room E501 on drawing EL-115 is not labeled.
4. Lighting fixture located in the Auditorium located northeast of the stage on drawing EL-115 is not labeled.
5. Lighting fixture located in room G814 is labeled as a type B fixture on drawing EL-117. This does not match the lighting fixture schedule description on drawing EL-242.
6. Lighting fixture located in room B246A on drawing EL-122 is labeled as a B1 type fixture. There is no B1 type fixture on the fixture schedule on drawing EL-242.
7. Lighting fixtures located in the women's and men's restroom on drawing EL-150 are not labeled.
8. At the pre-bid meeting on 1/16/20 the architect mentioned a \$150.00 fee per drawing for CAD files, with additional potential fees from the engineers for their drawings. Most parties involved with the construction of this project will need access to these CAD drawings for coordination drawings and shop/factory drawings. That being said, can the fee for CAD drawings from the design team be waived?

RESPONSE



Request For Information PB-004

High School #13
Mission Road

Project # 1705
Tel: Fax:

RFI #: PB-004 **Date Created: 1/20/2020**

Answer Company	Answered By	Author Company	Authored By
TCA Architects 1369 General's Hwy Crownsville, MD 21032	Robyn Toth Phone: 410-266-7722 Fax:	Oak Contracting, LLC 1000 Cromwell Bridge Road Towson, MD 21286	Matt Lurz Phone: 410-828-1000 Fax: 410-828-7488

Co-Respondent **Author RFI Number**

Subject	Discipline	Category
Canyon Contracting		

Cc:	Company Name	Contact Name	Copies	Notes
	Oak Contracting, LLC	File	1	

Question **Date Required:**
Please see attached Pre-bid RFI #PB-004 and provide a response. Oak will provide the responses to questions 7 and 8.

Suggestion

Answer **Date Answered: 1/22/2020**

TCA/Morabito Responses

- 1a. Polished concrete not required. See Addendum No.1.
- 1b. Polished concrete is not in the scope of work for this project.
- 2. Turn down slabs poured on top of stone base and/or over vapor barrier separation do not need corrosion inhibitors.
- 3. Polypropylene fibers are not required and shall not be used in lieu of specified welded wire mesh.
- 4. See joint sealant specification 07 9200 section 2.01 B for sealant to be used at interior slab control joints, or submit an equivalent product for review and approval.
- 6. Composite deck and screed angles have been designed such that shoring will not be required. However we cannot say with 100% certainty that no shoring is necessary due to unforeseen circumstances or a unique means and method condition.
- 9. All footing sizes and required reinforcing are shown on contract documents. Refer to column schedule for column footings typically. All other footings are called out on plan and scheduled sheet S-111 or are detailed on related section cuts shown on plan.

Oak Contracting Responses

- 5. The Geotechnical report is included in Specification Section 02 3000
- 7. Item 3.22 which is included in all contract packages is relevant for any contractor who's work attaches to steel joists
- 8. Item 3.19 which is included in all contract packages is correct as written

Matt Lurz

From: Steve Krell
Sent: Monday, January 20, 2020 8:22 AM
To: Matt Lurz; Corey Wixsom; Ed Lurz
Subject: FW: #13 High School - RFI

RFI

Thanks,

Steve Krell, CPE



From: Jacob Butcher
Sent: Friday, January 17, 2020 4:30 PM
To: Steve Krell <skrell@oakcontracting.com>
Subject: #13 High School - RFI

- TCA 1a. Please clarify if there is any polished concrete associated with this project, and if so where, and who's scope it is in.
- TCA 1b. Provide a spec for polished concrete including level of finish, and integral color requirements, if needed.
- TCA 2. Drawing note #16 on S111 reads "All concrete footings and turn down slabs placed in existing soils shall have a corrosion inhibitor. Refer to specification section 03 03000 paragraph 2.5H. The concrete slab on grade and concrete footings placed in new, off-site compacted fill do not need a corrosion inhibitor. See Geotech report for additional information." Please clarify if a corrosion inhibitor is needed for the slabs on grade as they will be poured on top of a stone base with a vapor barrier separation.
- TCA 3. Drawing notes S-201 mention polypropylene fibers. Are these to be used in addition to wwm or in lieu of wwm at the contractors option?
- TCA 4. What type of joint sealants are to be used at the control joints as noted on the typical details? Typically the areas receiving flooring would be flash patched by the installer.
- Oak 5. Please provide a Geo Tech Report if available.
- TCA 6. 03A scope 2.32 call for the somd to be shore as required. Are the decks designed to be shored or is shoring not required?
- Oak 7. 03A scope item 3.22 regarding steel joist reinforcement. Is this item relevant; can an example be given?
- Oak 8. 03A scope item 3.19 calls for testing of work not provided by the owner. The owner has concrete testing, so what else would we be responsible for that would not be covered and therefore our responsibility?
- TCA 9. Please provide a revised spread footing schedule with the corresponding number shown on each spread footer.

Jacob Butcher

Estimator



Canyon Contracting, Inc. & CCI Custom Metals

2501 Back Acre Circle, Mt. Airy, MD 21771

O: 301.829.1900 ext. 231 F: 301.829.1090

jacob@canyoncontracting.net

canyoncontracting.net





Request For Information PB-005

High School #13
Mission Road

Project # 1705
Tel: Fax:

RFI #: PB-005 **Date Created: 1/21/2020**

Answer Company	Answered By	Author Company	Authored By
TCA Architects 1369 General's Hwy Crownsville, MD 21032	Robyn Toth Phone: 410-266-7722 Fax:	Oak Contracting, LLC 1000 Cromwell Bridge Road Towson, MD 21286	Matt Lurz Phone: 410-828-1000 Fax: 410-828-7488

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Grounded Electrical Question		

Cc: Company Name	Contact Name	Copies	Notes
Oak Contracting, LLC	File	1	

Question **Date Required:**

Please see attached RFI #PB-005 and provide a response.

Thank you,

Suggestion

Answer **Date Answered: 1/22/2020**

TCA/ESP Responses

1. Drawings are correct, composite video is not required for classroom AV.
2. The Pixie Plus is only required when there is a "C" outlet present. Standard classrooms without a "C" will use the remote associated with the projector.
3. Set-top box and DVD player are included in Section 274000.
4. Displays are listed in Section 274000.
5. Displays are listed in Section 274000.
 - a. Conference Rooms shall have a projector.
 - b. Office spaces shall have a 46" display.
 - c. Hallways, corridors shall have a 55" display.

GROUNDING ELECTRICAL
CONSTRUCTION

REQUEST FOR INFORMATION

Project: High School #13 Attention Oak Construction RFI #: 2X
Subject: General/Electrical Date: 1/20/2020 Reply By: ASAP

REQUEST

1. In the division 274100 Sound Enhancement spec for the classrooms under 2.00 Products, item D they list composite video on the AV harness but the line drawings and plate drawings don't show composite video. Please clarify.
2. In the same section under E they list a Logitech remote control but the drawings show an Epson PIXIEPLUS. Which one should be used?
3. Drawing T-503 show a Set Top Box (STB) and a DVD player but neither one is specified in the 274100 spec. Are these in this scope and if so what are the brands and models?
4. The T series drawings show wall plates PR1 and L1 for displays in some of the rooms, but no brand, model or size is given for these displays. Please clarify.
5. The division 274000 IP Video Distribution lists six sizes of NEC LED displays, but there are no quantities or locations given. Is there a display schedule or some drawing the show the display size and locations?

RESPONSE

Copy To: _____

Signed: _____
Date: _____

High School #13

Pre-bid Meeting

January 16th 2020

The following is a summary of information presented at the Pre-bid meeting.

1. HCPSS briefly reviewed the date (February 28, 2020) the time (1:00pm) and the location (HCPSS purchasing office) for submission of bids. Purchasing office is located in portable building #177. Bids must be submitted to this office to be valid. Bids must be sealed. Late bids will not be accepted.
2. HCPSS advised that the "Questions Due" date has changed to February 14th 2020.
3. HCPSS reviewed the MBE requirements and advised bidders to review and become familiar with the forms located in Specification section 00 0730.
4. HCPSS advised bidders that if they request an MBE waiver they must be prepared to demonstrate a good faith effort to obtain the participation that they are requesting the waiver for.
5. HCPSS advised that Bidders are to submit Attachments A&B with their proposal in a sealed envelope clearly noting the bidders name and the contract package they are bidding on. Contractors must check one of the three boxes on Attachment A indicating your participation intent
6. HCPSS briefly reviewed AIA 701 Instructions to Bidders.
7. HCPSS advised bidders that this is a prevailing wage scale project.
8. HCPSS advised that this project includes criminal background check requirements that must be adhered to.
9. HCPSS reviewed the Contractor Performance/Evaluation score card.
10. HCPSS advised that only bid documents obtained from Oak Contracting or are to be considered official.
11. HCPSS advised the project site is surrounded by neighborhoods. No one shall communicate to any neighbors.
12. HCPSS reviewed the form of proposal. Bidders must acknowledge receipt of all addenda. Oak Contracting will distribute addenda to all plan holders. HCPSS advised that bidders must enter a value for each alternate. If the Alternate does not alter cost the bidder shall enter ZERO \$0 on the lines.
13. HCPSS reminded bidders that all pre-bid questions must be submitted in writing. No questions will be taken over the phone.
14. TCA provided an overview of the project including the following:
 - Reviewed the size of the school and site
 - Summary of the site layout
 - Summary of the Access rd to the property
 - Summary of the interior layout of the building
 - Noted that the building is type "B" construction

- Noted the project's goal for LEED certification is Silver and is utilizing LEED v4. TCA reviewed the LEED submittal processing sheet
- Summary of the Alternates for the project
- Noted substitutions are not allowed prior to receipt of bids
- Review of the protocol for the use of Architect's drawing files which include a \$150 per sheet fee

15. Oak Contracting reviewed the pre-bid requirements and project conditions as follows:

- Pre-bid RFI's must be submitted to Oak Contracting in writing. Oak will only accept pre-bid RFI's from registered plan holders. Each submission of question or questions must be submitted in separate correspondence, no continuing email threads. If multiple questions are on single Pre-bid RFI form or email they are to be numbered, no bullet points. Oak will acknowledge receipt of the pre-bid RFI's to the submitting contractor and provide that contractor with the assigned pre-bid RFI number. Copies of the pre-bid RFIs with answers and current pre-bid RFI log will be included in addenda. No substitution requests shall be included in a pre-bid RFI
- Oak will distribute addenda to all plan holders
- Contractors shall carefully review their respective contract packages and the contract packages of others. Any duplicate coverage in scope brought to Oak's attention via pre-bid RFI will be addressed via addendum.
- Oak highlighted to bidders of the 2A Contract package that there are provisions in the 2A Contract package requiring the 2A contractor to provide a minimum of 2 utility crews and minimum 2 sitework crews working currently. Additional details will be added to these requirements via forthcoming coming addenda.
- Oak will be including in forthcoming addenda, copies of particular sketches from the bid drawings which include contract package designations for scope clarification.
- All construction traffic will be required to access the site from the entrance off of rt1. There will be no access from Mission rd. for the duration of the project.
- Contractors must designate a qualified representative of his/her firm or hire a qualified consultant knowledgeable in regard to LEED v4 requirements to monitor and ensure compliance.
- Construction waste management will be provided by the 1A Contractor
- Indoor Air Quality Control is provided and monitored by the 1A Contractor. 15A also has IAQ responsibilities pertaining to the HVAC system. All contractors must provide housekeeping in compliance with all indoor air quality requirements.
- The site is categorized as non-classified to design subgrade, therefore the contractor is responsible for all excavation down to design subgrade elevation regardless of material being excavated. Further details are included in specifications.
- In addition to commissioning of mechanical and electrical systems this project includes requirements for building envelope commissioning and air barrier testing. Oak advised bidders to carefully review the applicable specification sections.
- A preliminary timeline is included in the documents. The substantial completion date will be May 1st 2023. A fully developed construction schedule will be finalized following Award of Contracts

- Future site visits must be coordinated with Oak 48 hrs in advance. Contractors not familiar with the site location can use 8530 Washington Blvd, Jessup, MD 20794. This is the address of the adjacent shopping center to the site entrance.
 - Contractors must adhere to DLLR certified payroll requirements. Monthly requisitions will be rejected if there is failure to comply with state requirements. Retention will not be released until DLLR has confirmed that all requirements have been met.
16. HCPSS closed the meeting noting that this project is a Construction Manager as Agency, Multi-Prime Contractor delivery method. Howard County Public Schools holds all contracts. All correspondence, documentation, etc. goes through the Construction Manager.
- A site walk followed this meeting.
 - Existing concrete spoils were observed at the end of the shopping center entrance where future access rd will connect. The 2A contractor shall include removal and disposal of these spoils in the base bid.
17. A copy of the meeting sign-in sheets follow this summary.

Howard County Public Schools
Bid No. 016.20.B4
13 HIGH SCHOOL NEW CONSTRUCTION

PRE-BID MEETING ATTENDANCE SHEET
 Date/Time: 01/16/20 1:30 PM

Please print clearly and complete all of the requested information. If your Business Card has all of this information you may simply staple it over an empty box. Please do not cover up other vendors cards.

Company Name:	Browner Builder, Inc.
Contact Name:	Teka Falgouterson, Brigitte Kemig
Mailing Address:	11011 McCormick Rd Suite 500 Hunt Valley 21030
City, State Zip Code:	Hunt Valley MD 21030
Telephone Number:	410-666-2500
Fax Number:	410-666-2843
Email Address:	POC@brownerbuilders.com

Company Name:	SUSAN GREEN
Contact Name:	FIBERPLUS, INC.
Mailing Address:	8240 PEBBLE
City, State Zip Code:	JESSUP, 20794
Telephone Number:	
Fax Number:	
Email Address:	sgreen@fiberplusinc.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Phone Number:	
Fax Number:	
Email Address:	

Kelly Minich
 Education Market Manager

9160 Rumsey Road, Suite B-6
 Columbia, MD 21045

e. Kelly.Minich@avispl.com
 t. (+1) 301 306 0120
 m. (+1) 443-248-1515 571-266-2452
 f. (+1) 410 992 0758



www.avispl.com

Bill Klingensmith — www.wfklingensmith.com

WILLIAM F. KLINGENSMITH, INC.
 GENERAL CONTRACTORS

7307 Baltimore Avenue, Suite 209, College Park, Maryland 20740-3231
 Phone: (301) 699-6070 Fax: (301) 699-6074 Cell: (240) 506-6209
 E-Mail: billk@wfklingensmith.com

Company Name:	WILLIAM F. KLINGENSMITH INC.
Contact Name:	BILL KLINGENSMITH
Mailing Address:	7307 BALTIMORE AVE, SUITE 209
City, State Zip Code:	COLLEGE PARK MD 20740
Phone Number:	301-699-6070
Fax Number:	301-699-6074
Email Address:	BILL@WFKLINGENSMITH.COM

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



David M. Dolbow
Chief Estimator

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c) 240-367-0704
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www.warner-mechanical.com
217 Monroe Avenue
Frederick, MD 21701

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
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Fax Number:	
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Kent Lewis
Estimator

"Building Mechanical Systems for
Today & Tomorrow"

m) 301-662-5387 Ext. 245
f) 301-698-0451
c) 301-748-0029
e) klewis@warner-mechanical.com

www.warner-mechanical.com
217 Monroe Avenue
Frederick, MD 21701

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



RAY AMIRIAN
VICE PRESIDENT

4640 FORBES BLVD. SUITE 203
LANHAM, MD 20706
PH: (301) 306-4411 x 224
FAX: (202) 398-5501
CELL: (202) 361-0710

RAY.AMIRIAN@NASTOS.COM

Company Name:	UTILITIES UNLIMITED, INC
Contact Name:	JIM PARRISH
Mailing Address:	1771 UNDERWOOD ROAD
City, State Zip Code:	SYKEVILLE, MD 21784
Telephone Number:	410-365-1513
Fax Number:	
Email Address	JIM.PARRISH@UTILITIESUNLIMITED.COM

Company Name:	Oak Contracting
Contact Name:	Wayne Temple
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Wayne Temple
Superintendent

1000 Cromwell Bridge Road
Towson, Maryland 21286
410-828-1000 • FAX 410-828-7488
Cell 1-410-858-8393
E-mail: wtemple@oakcontracting.com
www.oakcontracting.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	bids@rosscontracting.com



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KAITA PEREZ
Bid Coordinator

1007 Rising Ridge Road
Mt. Airy, MD 21771
Kaita.Perez@rosscontracting.com

Office: 301-831-5500
Fax: 301-831-5900

Company Name:	
Contact Name:	
Mailing Address:	
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410-875-9671
Cell 443-547-3576
Fax 410-875-9338

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Fax: 410-766-2002

Rick Nash
Account Manager
Direct: 410-689-1545
Cell: 443-829-7889
RNash@aggtrans.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

KINSLEY

Patrick Holmes
Project Manager
Email: pholmes@kinsleyconstruction.com
Office: (717) 757-8789 Cell: (717) 821-2049 (717) 201-8191
Address: P.O. Box 2886, York, PA 17405

kinsleyconstruction.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



GORDIAN
ENERGY SYSTEMS

AJ Armstrong
Project Developer

☎ 410-242-2449
☎ 410-991-5764
✉ aarmstrong@GordianE.com
🌐 www.gordianenergysystems.com

Company Name:	Cole Roofing Company
Contact Name:	Jim Layman
Mailing Address:	3915 Coolidge Avenue
City, State Zip Code:	Baltimore, MD 21229
Telephone Number:	410-242-0600
Fax Number:	
Email Address	Jim@ColeRoofing.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



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John Livingston
Director of Business Development

Manganaro Midatlantic, LLC
6405-D Ammendale Road
Beltsville, MD 20705

main 301-937-0580
direct 301-388-7785
cell 240-882-1398
jlivingston@manganaro.com

www.manganaro.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
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Sales

jgriffin@jandjtrash.com
www.jandjtrash.com

Direct: 443-723-9109

P.O. Box 438
Finksburg, MD 21048

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Company Name:	HEPSS
Contact Name:	Dan Hagan
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	dan@hagan@HEPSS-029

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	



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Certified Technology Specialist



2300 Sulphur Spring Road
Baltimore, MD 21227
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Phone: 410-242-4077
Fax: 410-247-4777
Email: joes@hpelectronics.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	



Matthew Lurz, CDT, LEED GA
Project Manager

Builders

1000 Cromwell Bridge Road
Towson, Maryland 21286
410-828-1000 • FAX 410-828-7488
CELL 410-977-1335
Email: mlurz@oakcontracting.com
www.oakcontracting.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
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Email Address:	



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PHONE: 703-245-8821 CELL: 202-550-5057

FAX: 703-245-3852

E-mail: tom.dawson@sharpsec.com



Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Denver-Elek
Mechanical Contractors
Construction Management

Dan Shanahan
Director of Business Development
410.808.0424 mobile
410.574.8400 .242
dshanahan@denver-elek.com

8860 Kelso Drive
Essex Maryland 21221

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



GROUND  **ELECTRICAL**
CONSTRUCTION

Karen Lopez-Saravia
Assistant Project Manager

504 McCormick Drive, Suite C • Glen Burnie, Maryland 21061
w 410-582-8062 • c 443-962-0395
klopezsaravia@groundedelec.com
www.groundedelec.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Bryan Maloney
Estimator

9510 Berger Road
Columbia, MD 21046-1577



Main: 410-381-3100 Ext. 138
Fax: 410-381-8835
www.citiroof.com

Toll Free: 888-381-3100
Email: bryan@citiroof.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

URBAN  ZINK
CONTRACTOR, INC.

BENJAMIN J. DYER
Estimator

6924 EBENEZER ROAD
P. O. BOX "S"
CHASE, MARYLAND 21027

Phone: 410-335-3456
Fax: 410-335-8906
E-mail: bdyer@urbanzink.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



ALTIMATE
ELECTRIC INC.

1008 Rising Ridge Road
Mt. Airy, MD 21771
301-607-8003, Ext. 241
Fax: 301-607-8006

Darryl Leonard
Estimator
DLeonard@altimateelectric.com
www.altimateelectric.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	



Bruce Pinder
SUPERINTENDENT

Cell: 443-938-1219
bpinder@tempaircompany.com

51 Gwynns Mill Court, Owings, MD 21127

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	



Matt Griffin, P.E.*
Stormwater Consultant
Maryland, Delaware & W. Virginia

Contech Engineered Solutions LLC
5604 Morning Gate Court
New Market, MD 21774
www.ContechES.com

Mobile: 410-736-2134
Fax: 410-740-8492
mgriffin@conteches.com

* Licensed in Maryland

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	

tcaarchitects

Jim Giokas AIA
Project Architect

igiokas@tca-architects.com
410.266.7722

tca-architects.com
1369 Generals Highway
Crownsville, MD 21032

Specializing in the design
of educational facilities

Company Name:	Posh Home Impro
Contact Name:	Charles Moses
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	

Charles Moses
MHIC #: 134679
Phone #: 410-493-7433
Email: poshhomeimprovements@gmail.com
Website: www.posh-homeimprovements.com



Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	



Corey Wixsom
Assitant Project Manager

1000 Cromwell Bridge Road
Towson, Maryland 21286
410-828-1000 • CELL 443-823-0627
Email: cwixsom@oakcontracting.com
www.oakcontracting.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Lorena Davila
Marketing Manager

Geotechnical Engineering
Civil Engineering
Land Surveying
Utility Locating
Construction Inspection & Testing

5901 Ammendale Road, Suite F
Beltsville, Maryland 20705
LorenaDavila@KimEngineering.com
www.KimEngineering.com
Tel: (240) 542-4238

Beltsville, MD

Baltimore, MD

Fairfax, VA

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Paul Kiem
Business Development Manager

Geotechnical Engineering
Civil Engineering
Land Surveying
Utility Locating
Construction Inspection & Testing

5901 Ammendale Road, Suite F
Beltsville, Maryland 20705
PaulKiem@KimEngineering.com
www.KimEngineering.com
Tel: (240) 542-4238

Beltsville, MD

Baltimore, MD

Fairfax, VA

Company Name:	IBEW 24
Contact Name:	NICK DIMARTINO
Mailing Address:	2701 W PATAPSCO AVE SUITE 200
City, State Zip Code:	BALTIMORE, MD 21230
Telephone Number:	410-247-5771
Fax Number:	
Email Address	ndimartino@ibawlocal24.org

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



E. Brook Behner, Vice President

9710 Monroe Street • Cockeysville, MD 21030
410-628-8996 • fax: 410-628-2158
bbehner@homewoodgeneral.com • www.homewoodgeneral.com

Company Name:	CESAR GAYOSO
Contact Name:	ANIXTER
Mailing Address:	
City, State Zip Code:	
Telephone Number:	571 223 9944
Fax Number:	
Email Address	CESAR.GAYOSO@ANIXTER.COM



CESAR GAYOSO
Network & Security Solutions
Account Manager

D 571.223.9949
anixter.com

45075 Old Ox Road Suite 100,
Dulles, Virginia 20166

cesar.gayoso@anixter.com



Company Name:	ANTER INC
Contact Name:	MATT RIDGEMAN
Mailing Address:	3338 4505 OLD OX RD ANTEBIO
City, State Zip Code:	DUQUES, VA 20106
Telephone Number:	336 405 1010
Fax Number:	
Email Address:	matt.ridgeman@anter.com

LARRY SNOOPS
Project Manager

1 North Washington Street
Telford, PA 18969

☎ 267.382.0267
☎ 267.372.0985
lsnoops@mycomechanical.com

mycomechanical.com

Company Name:	MYCO MECHANICAL
Contact Name:	LARRY SNOOPS
Mailing Address:	
City, State Zip Code:	
Telephone Number:	267 372 0985
Fax Number:	
Email Address:	LSNOOPS@MYCOMMECHANICAL.COM

Company Name:	Oak Contracting
Contact Name:	Joe Tibert
Mailing Address:	
City, State Zip Code:	
Telephone Number:	410-828-1000
Fax Number:	
Email Address:	jtibert@oakcontracting.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	



James S. Fowler
MEP Coordinator

1000 Cromwell Bridge Road
Towson, Maryland 21286
410-828-1000 • FAX 410-828-7488
Cell 443-425-5297
Email: jfowler@oakcontracting.com
www.oakcontracting.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address:	

Howard County Public Schools
Bid No. 016.20.B4
13 HIGH SCHOOL NEW CONSTRUCTION

PRE-BID MEETING ATTENDANCE SHEET
 Date/Time: 01/16/20 1:30 PM

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Company Name:	Electrico Inc.
Contact Name:	Rich Hamberg
Mailing Address:	1300 Requeet Rd
City, State Zip Code:	Beth, MD 21209
Telephone Number:	410 828-0040
Fax Number:	410-828-9119
Email Address	Rhamberg@electrico.net WALT@ELECTRICO.NET

Company Name:	Hamden Group
Contact Name:	Ken Bloxham
Mailing Address:	1 Rutherford Rd
City, State Zip Code:	Harrisburg, PA 17009
Telephone Number:	717-790-9843
Fax Number:	
Email Address	kbloxham@hamdengroup.com

Company Name:	Musco Sports Lighting
Contact Name:	Harley Abernathy
Mailing Address:	101 S Ellwood Ave APT 436
City, State Zip Code:	Baltimore MD 21224
Telephone Number:	667-210-0456
Fax Number:	
Email Address	harley-abernathy@musco.com

Company Name:	PLEASANTS CONSTRUCTION, INC.
Contact Name:	PHIL CONKLIN
Mailing Address:	24024 FREDERICK ROAD
City, State Zip Code:	CLARKSBURG, MD, 20871
Telephone Number:	301-428-0800 x1403
Fax Number:	301-428-3922
Email Address	pconklin@PLEASANTSconstruction.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

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1002 Green Hill Farm Road
 Reisterstown, MD 21136
 410-526-6707
 Fax: 833-2539

GARY BECK
 President

Cell: 443-250-1243
 E-Mail: GaryBeck@glbconcrete.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

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Brad Smith
 Estimating/Project Management
 Cell: 301.401.5489
 brad.smith@brewerfire.com

Company Name:	LANTANUSVILLE TOWER FARM
Contact Name:	Bob Bishop or Robin Lechner
Mailing Address:	LANTANUSVILLE MD
City, State Zip Code:	
Telephone Number:	240-215-5598
Fax Number:	
Email Address	

Company Name:	Gray and Son
Contact Name:	Matthew Hovis
Mailing Address:	430 W. Pandora Rd
City, State Zip Code:	Timonium MD 21093
Telephone Number:	410 771 4311
Fax Number:	
Email Address	mhovis@grayanson.com

Company Name:	CTSI
Contact Name:	Keith Newlon
Mailing Address:	1 Easter Court
City, State Zip Code:	Owings Mills MD 21117
Telephone Number:	443 202 3110
Fax Number:	
Email Address	Knewlon@CTSI-USA.COM



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Baltimore, MD 21227
www.hpelectronics.com

Phone: 410-242-4077
Fax: 410-247-4777
wenyd@hpelectronics.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

GREG RAMIREZ

PROJECT EXECUTIVE

D: 240.753.7836
O: 301.417.1006
M: 202.309.3138
GREG@HENLEYCONSTRUCTION.COM

7940 QUEENAIR DRIVE, GAITHERSBURG, MD 20879
HENLEYCONSTRUCTION.COM

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Ted Gensicki
Project Manager

Action Electrical Contractors, Inc.

ted.gensicki@gmail.com
Cell: 410-455-8322
CFax: 410-875-5587

1050 Hardees Drive, Suite C
Aberdeen, MD 21001

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Action Electrical Contractors, Inc.
1050 Hardees Drive, Suite C
Aberdeen, MD 21001

Kaitlyn Moretz
kaitlyn@actionelectricmd.com

Phone: (410) 879-5887
Cell: (410) 292-7569
Fax: (410) 893-5072

actionelectricalcontractors.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

jamesposey.com

tel 410-265-6100
cell 443-878-7297
email bromie@jamesposey.com

Brian J. Romie, PE
Senior Project Manager



James Posey
Associates
Engineering Your Vision

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

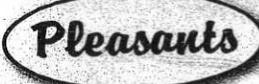


NASTOS
CONSTRUCTION, INC.
GENERAL CONTRACTOR
DBLBO/MBE/CBE CERTIFIED

RAY AMIRIAN
VICE PRESIDENT

4640 FORBES BLVD. SUITE 203
LANHAM, MD 20706
PH: (301) 306-4411 x 224
FAX: (202) 998-5501
CELL: (202) 361-0710
RAY.AMIRIAN@NASTOS.COM

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Phil Conklin
Estimator

Pleasants Construction, Inc.
24024 Frederick Road
Clarksburg, MD 20871

(301) 428-0800
Fax: (301) 428-3922
PConklin@pleasantsconstruction.com

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	



Harley Abernathy
Field Sales Representative

Mobile: 667/210-0456
Fax: 800/374-6402
E-mail: harley.abernathy@musco.com

1099 Winterson Rd, Suite 160
Linthicum Heights, MD 21090
www.musco.com

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Mailing Address:	
City, State Zip Code:	
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Fax Number:	
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14 McCann Avenue
Cockeysville, Maryland 21030

TEL: 410-666-3000
CELL: 443-604-8336
FAX: 410-666-3775
mglenon@getignall.com

Mickey Glendon, Sr.
Estimator/Project Manager

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Company Name:	LEONARD KRAUS DRYWALL INC
Contact Name:	MIKE KRAUS
Mailing Address:	800 RACE RD BALTIMORE, MD
City, State Zip Code:	BALTIMORE, MD
Telephone Number:	410-736-9094
Fax Number:	
Email Address	MIKEK@LEONARDKRAUS.COM

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	

Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
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Company Name:	
Contact Name:	
Mailing Address:	
City, State Zip Code:	
Telephone Number:	
Fax Number:	
Email Address	